

TO: Honorable Mayor and City Council

FROM: Laura Qualey, Community & Business Development Specialist

SUBJECT: Approve Resolution 2813 Hardwood Estates Third Subdivision for Preliminary Plat & PUD

DATE: May 20, 2025

BACKGROUND

Hardwood Estates began in 2014 by a private developer. Due to a lack of buildable lots in the community, the Cannon Falls Economic Development Authority [EDA] (the "Developer") purchased 40 acres of property in December 2022 to create a housing development for the community. In 2023-24, they began construction on about 10 acres to create the Second Subdivision which has proven to be wildly successful. Due to demand, the EDA is ready to proceed with developing the next 10.45 acres of PID #523510310 (the "Property") for 27 single family residential lots to create Hardwood Estates Third Subdivision (the "Project").

PROJECT DETAILS

The project area located south of Highway 19 and west of Hardwood Way/County 24 East across from the Cannon Falls Area School campus. The Developer is seeking simultaneous approval of the Pre-plat and Planned Unit Development (PUD) stage plan for the next phase of the development.

There is excess capacity in the water/waste water treatment facility to accommodate the next phase of this housing development which consists of 27 single family residential lots and the area is already zoned as an R-3 for Medium Density Residential. There will not be any townhome lots in this subdivision and as a side note, two of the pre-platted townhome lots of the Second Subdivision (PIDs 523510280 and 523510290) See Exhibit A has been re-drawn to be replatted as single-family lots due to the market demand.

The Planning Commission and City Council are responsible for the Preliminary plat and PUD process and approvals but since the EDA is the owner/developer of this project so they are also involved in the entire process of approvals as well.

A public hearing was held to consider the Preliminary Plat and PUD the Hardwood Estates Third Subdivision at the Planning Commission on Monday, May 12th which did receive a recommendation as shown by the signed Resolution 2025-03. The exhibits are now being presented to Council for your review, comments and ultimate approval; the final step will be the consideration and approval of the final plan which does not need to go back through Planning Commission.

FINDINGS:

(A) The proposed project has been found to be consistent with the official City Comprehensive Plan in relation to housing.

(B) The proposed project is or will be compatible with present and future land uses of the area.

(C) The proposed project conforms with all performance standards contained in the City Code Chapter 152.

(D) The proposed project can be accommodated with existing public services and will not overburden the city's service capacity.

(E) Traffic generation by the proposed project is within capabilities of streets serving the property for this next phase per MnDOT's review for the 2nd & 3rd Subdivisions; future phases will require additional streets to serve as outlets to County 24 to serve the subdivision.

STAFF RECOMMENDATION:

Staff is seeking approval of Resolution 2813 for the Preliminary plat and PUD plan for the Third Subdivision of Hardwood Estates.



DEVELOPMENT APPLICATION

918 River Road Cannon
Falls, MN 55009
507-263-9308

SUBJECT TO STAFF REVIEW

Street Location of Property: Along Highway 19 East, County 24 East and Maple Lane

Legal Description of Property: See Attached Exhibit

Owner of Record: Name: Economic Development Authority

Daytime Phone: 507-263-9312

Address: 918 River Rd, Cannon Falls, MN 55009

Applicant (if other
than owner)

Name: Andrew Althoff, EDA President

Notary Stamp

Daytime Phone: (507) 208-7412

Address: 1230 4th St S, Cannon Falls, MN 55009

E-Mail Address: andrewa@crb.bank

Nature of Legal or Equitable Interest of Applicant (Documentation must be attached :)

Request:	<input type="checkbox"/>	Conditional Use Permit	<input type="checkbox"/>	Rezoning/Ordinance Text Amendment
	<input checked="" type="checkbox"/>	Subdivision	<input type="checkbox"/>	Variance
	<input type="checkbox"/>	Concept	<input type="checkbox"/>	Interim Use Permit
	<input checked="" type="checkbox"/>	Preliminary Plat	<input type="checkbox"/>	Amendment
	<input type="checkbox"/>	Final Plat	<input checked="" type="checkbox"/>	CUP PUD
	<input type="checkbox"/>	Administrative	<input type="checkbox"/>	Site Plan Review
	<input type="checkbox"/>	Administrative Permit	<input type="checkbox"/>	Special Home Occupation
	<input type="checkbox"/>	Vacation	<input type="checkbox"/>	Annexation Petition
	<input type="checkbox"/>	Comp Plan Amendment	<input type="checkbox"/>	Appeal
	<input type="checkbox"/>	Other		

Note: Each requested approval may require a separate fee and/or escrow amount, even where they apply to the same project.

Date Application Received: 5/5/25

Date Submission Deemed to be Complete: yes

Give detailed description of project and reason for conditional use or variance, if applicable:

The EDA has completed the first phase (Second Subdivision) of Hardwood Estates which was comprised of 29 lots; (10 twin home; 19 single family) all of them except six twin lots are either sold or under contract with a party to close within the next few months. In order to keep the momentum of the project going, the EDA is proposing the pre-plat in this application for the 3rd Subdivision which is comprised of 27 single family lots. There is no reason for a rezone as the development is already zoned as an R-3 Medium Density development and this is already part of a planned unit development (PUD).

SUPPORTING DOCUMENTATION: Applicant must submit with the application all documentation required by the Zoning or Subdivision Ordinance relating to the requested approval. Applicant will be advised of the completeness. Only when it has been determined that an application is complete will it be placed on a Planning Commission agenda for consideration. Applications that do not include the proper plans and/or documentation may be delayed from formal review. **FAILURE ON THE PART OF THE APPLICANT TO SUPPLY ALL NECESSARY SUPPORTIVE INFORMATION MAY BE GROUNDS FOR DENIAL OF THE REQUEST.**

APPLICANT RESPONSIBILITY FOR PAYMENT OF ALL CITY FEES AND COSTS IN PROCESSING APPLICATION: Applicant acknowledges that she/he understands that before this request can be considered and/or approved, all fees, including the basic application fee and any escrow processing deposits must be paid to the city and that, if additional fees are required to cover costs incurred by the City, the City Clerk has a right to require additional escrow amounts and payment. These fees include all actual costs including, but not limited to, planning, engineering, public notification, and legal costs. All processing of an application will be halted if payments are not made within 30 days of receipt of a monthly statement from the City, in the event any escrow account established is insufficient to cover the costs.

SIGNED:



Property Owner

Date: 4/23/25

Applicant (if not the Property Owner)

Date: _____

=====

FOR CITY USE ONLY

Date Application Filed: 5/5/25

Basic Fees: _____

Received By: Jon Radermacher

Escrow Deposit: _____

Evidence of Ownership Submitted: ☒ Yes

☐ No

☐ Required

Certified Lot Survey: ☒ Yes

☐ No

☐ Required

Legal Description Adequate: ☒ Yes

☐ No

☐ Required

Date of Planning Commission Meeting: May, 12, 2025

Recommendation of Planning Commission on: May 12, 2025 ☒ Approve ☐ Deny

Recommendation of City Council on: _____ ☐ Approve ☐ Deny Subject to following conditions:

LEGAL DESCRIPTION

That part of Outlot B of HARDWOOD ESTATES SECOND, described as follows:
Beginning at the southwest corner of said Outlot B; thence North 00 degrees 07 minutes 34 seconds West, (Note: All bearings are in relationship with the Goodhue County Coordinate System NAD '83, Adjusted 1996), along the east line of Block 3 of HARDWOOD ESTATES SECOND, 153.00 feet to the south right-of-way line of Maple Lane; thence North 89 degrees 52 minutes 26 seconds East, along said south right-of-way line, 15.88 feet; thence North 00 degrees 55 minutes 43 seconds West, along the east line of Block 2 of HARDWOOD ESTATES SECOND and Block 1 of HARDWOOD ESTATES, 560.56 feet; thence North 70 degrees 52 minutes 17 seconds East, along the south line of Outlot A of HARDWOOD ESTATES SECOND, 175.71 feet; thence South 84 degrees 01 minutes 20 seconds East, along said south line, 213.63 feet; thence South 87 degrees 07 minutes 55 seconds East, along said south line, 92.01 feet; thence South 63 degrees 02 minutes 24 seconds East, 120.00 feet; thence North 26 degrees 57 minutes 36 seconds East, 16.02 feet; thence South 63 degrees 02 minutes 24 seconds East, 140.00 feet; thence South 26 degrees 57 minutes 36 seconds West, 360.00 feet; thence South 63 degrees 02 minutes 24 seconds East, 70.00 feet; thence South 26 degrees 57 minutes 36 seconds West, 321.99 feet to a point on the south line of said Outlot B; thence South 89 degrees 52 minutes 26 seconds West, along said south line, 469.04 feet to the Point of Beginning and there terminating.
AND

Block 3 of HARDWOOD ESTATES SECOND.
Containing 10.46 acres, more or less.

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Cannon Falls, Minnesota, will meet at 6:30 p.m. in the City Council Chambers of City Hall, on May 12, 2025, to hold a public hearing to consider a Preliminary Plat and Planned Unit Development for the Hardwood Estates Third Subdivision, located south of Highway 19 and west of County 24 Blvd.

Legal Description: That part of Outlot B of HARDWOOD ESTATES SECOND, described as follows:

Beginning at the southwest corner of said Outlot B; thence North 00 degrees 07 minutes 34 seconds West, (Note: All bearings are in relationship with the Goodhue County Coordinate System NAD '83, Adjusted 1996), along the east line of Block 3 of HARDWOOD ESTATES SECOND, 153.00 feet to the south right-of-way line of Maple Lane; thence North 89 degrees 52 minutes 26 seconds East, along said south right-of-way line, 15.88 feet; thence North 00 degrees 55 minutes 43 seconds West, along the east line of Block 2 of HARDWOOD ESTATES SECOND and Block 1 of HARDWOOD ESTATES, 560.56 feet; thence North 70 degrees 52 minutes 17 seconds East, along the south line of Outlot A of HARDWOOD ESTATES SECOND, 175.71 feet; thence South 84 degrees 01 minutes 20 seconds East, along said south line, 213.63 feet; thence South 87 degrees 07 minutes 55 seconds East, along said south line, 92.01 feet; thence South 63 degrees 02 minutes 24 seconds East, 120.00 feet; thence North 26 degrees 57 minutes 36 seconds East, 16.02 feet; thence South 63 degrees 02 minutes 24 seconds East, 140.00 feet; thence South 26 degrees 57 minutes 36 seconds West, 360.00 feet; thence South 63 degrees 02 minutes 24 seconds East, 70.00 feet; thence South 26 degrees 57 minutes 36 seconds West, 321.99 feet to a point on the south line of said Outlot B; thence South 89 degrees 52 minutes 26 seconds West, along said south line, 469.04 feet to the Point of Beginning and there terminating.

AND

Block 3 of HARDWOOD ESTATES SECOND.

Containing 10.46 acres, more or less.

The application and related information is available for public inspection at the City Administrator's office, 918 River Road, Cannon Falls, MN 55009.

Anyone interested in offering comments regarding the proposal will be given an opportunity to do so at this hearing.

Jon Radermacher, City Administrator

Cannon Falls Beacon
5-1-2025

HARDWOOD ESTATES THIRD SUBDIVISION DEVELOPMENT NARRATIVE

The Cannon Falls Economic Development Authority (EDA) purchased 40+ acres of property in December 2022 with a plan to develop the property for single and dual family units. The Development Application that has been submitted by the EDA includes a request for a preliminary plat and Planned Unit Development (PUD). This area was already rezoned to an R-3 Medium Density Residential in 2023 to accommodate different house unit types.

The development team includes the EDA Board consisting of: Andy Althoff (EDA President/Chair), Mayor Matt Montgomery (EDA VP/Council), Luke Cooreman (EDA Treasurer), Amy Dombeck (EDA Secretary), Diane Johnson (Council); Bill Angerman, Jesse Preston, Daren Sikkink, Cory Felderman, Mark Tune of WHKS (engineering, design, project management & survey) and Laura Qualey, Community Economic Development Associate (EDA Consultant), Jon Radermacher (City Administrator) and Jed Peterson (Public Works Director) and the Zoning/Planning Dept.

The Property: Hardwood Estates began in 2014 by the previous land owner, Glenn Mulvihill which created the first subdivision of six single family lots. The EDA developed 10 acres to create the second subdivision which included twenty-nine (29) lots that was composed of 10 twin home lots and 19 single family lots, a holding pond for the entire development and added a right turn lane on Hwy 19 onto 72nd Ave Way to accommodate the additional development; the remaining undeveloped property will remain an Outlot until further development occurs.

The Development Plan: Due to market demand, two of the previously platted townhome lots will be replatted to two (2) single-family lots in the 3rd Subdivision. Therefore, this changes the unit mix for the development to eight (8) townhome lots and 92 single family lots. At this time, Hardwood Estates will be an estimated one hundred (100) lots total of single family and townhome lots and an active City Park if the planned unit development proceeds with no additional changes.

Park Land: There will be 2.55-acres dedicated for one active park for Hardwood Estates. This area will be in the northeastern area of the property and be the last phase to be developed in the subdivision. Access to this park will be by City streets from the and sidewalks within the development. The park area is approximately 61% of the required 4.1 acres per the ordinance requirements, however the ordinance § **151.130 PUBLIC SITES AND OPEN SPACES (PARK LAND DEDICATION)** E.(3) also states that a combined land and cash contribution is allowed at the cities discretion based on the calculation which follows.

:

(E) Dedication requirements. The city, upon consideration of the development, may require that a lesser parcel of land should be dedicated due to particular features of the development. In those cases, a cash contribution shall be required above the land dedication to ensure that compensation is received for the full amount of the impact on the city's park and trail system.

(1) Land dedications. In all new subdivisions where land dedication is to be required, 10% of the gross area subdivided, or a different percentage as the City

Council determines necessary as a result of the subdivision approval, shall be dedicated for public parks, trails or open space.

(2) Cash contributions. When a subdivision is proposed, the developer shall make a land dedication for public park use, or the city may require a fee in lieu of the land dedication as follows, which are the city's best estimate of the effect of the subdivision on the city's park system.

Fee in Lieu of Land Dedication

Residential development

\$1,400 per dwelling unit

(3) Combined land dedication/cash contributions. The city may elect at its sole discretion to receive a combination of cash, land and development of the land for park and/or trail use. Combined park land and cash dedications shall be calculated based upon the following procedure.

(a) Residential developments.

STEP ONE: Determine maximum number of units possible within the development without park land dedication:

Net acres x average density = number of units

STEP TWO: Determine maximum cash contribution which could be received without park land dedication:

Number of units/lots (from Step 1) x \$1,400 = maximum cash contribution

STEP THREE: Determine percentage of park land dedication:

Acres to be dedicated ÷ total land dedication requirement = percent of land dedication

STEP FOUR: Determine balance of cash fee:

Maximum cash contribution (from Step 2) x percent of land dedication (from Step 3) = balance of cash fee

Development Timeline: 2023-24 Phase 1 development included the ten (10) townhome unit lots and nineteen (19) single family lots for a total of twenty-nine (29) units. Phase 1 continued down the already existing 72nd Ave Way to complete the street on both sides and then continued westward into a cul-de-sac into the newly created Maple Court and Maple Lane to the east. As of May 2025, all of the single-family lots (19) in the Second Subdivision in Hardwood Estates are either 'Sold' or 'Under Contract' in some capacity with a closing date pending; and the remaining (six) townhome lots are in negotiation with a builder and two (2) of the townhome lots as previously mentioned will be replatted in the 3rd Subdivision into two single family lots due to market demand.

With the appropriate approvals, the EDA would put the project for Phase 2 of the 3rd Subdivision, out for bids in early September 2025 with the bid being awarded in late September 2025. If the winning bid has capacity to begin the grading process yet in 2025, the EDA would consider that a 'win'. Otherwise, the expectation would be to break ground as soon as weather allows in 2026 and the lots would be ready for building by Summer of 2026. The remaining 3rd

and 4th phases for the development would roll out as the market demand allows recognizing that at any time the PUD allows for the unit mix to vary from single family to townhomes based on what the market demand is.

The EDA Development Team appreciates the time and consideration by the Planning Commission, City Council, Mayor and City Staff for this application.

2905 South Broadway
Rochester, MN 55904-5515
Phone: 507.288.3923
Fax: 507.288.2675
Email: rochester@whks.com
Website: www.whks.com



May 7, 2025

Mr. Jon Radermacher
City Administrator
City of Cannon Falls
918 River Road
Cannon Falls, MN 55009

RE: Cannon Falls, MN
Hardwood Estates 3rd Subdivision
Review of Preliminary Plat and Plans

Dear Jon:

We have reviewed the preliminary plat and plans for the referenced project. We offer the following comments on the submitted plat and plans.

1. Zoning items and development fees that apply to this site should be discussed with the City Administrator.
2. Multiple pre-application meetings occurred with the EDA and City staff. It was previously determined that a neighborhood meeting was not required per section 151.077 (A) and (B) of the ordinance.
3. The EDA and City do not need to coordinate the preliminary plat review with Goodhue County and MnDOT. The plat is not adjacent to either agency's right-of-way.
4. Lots 1 & 2, Block 3 of Hardwood Estates 2nd are proposed to be re-platted as single family lots instead of townhome lots. This is due to high demand for single family lots.
5. The existing stormwater basin was constructed to serve the entire development. Additional stormwater management is not required.
6. Grading is proposed on a future phase of this development. This grading is needed to facilitate drainage to the proposed storm sewer.
7. Sidewalk is proposed along one side of Maple Lane and a portion of Hardwood Way per City standards.

We recommend approval of the preliminary plat and plans conditional upon the above items being addressed.

May 7, 2025
Page 2 of 2

Please contact us if you have any questions.

Sincerely,

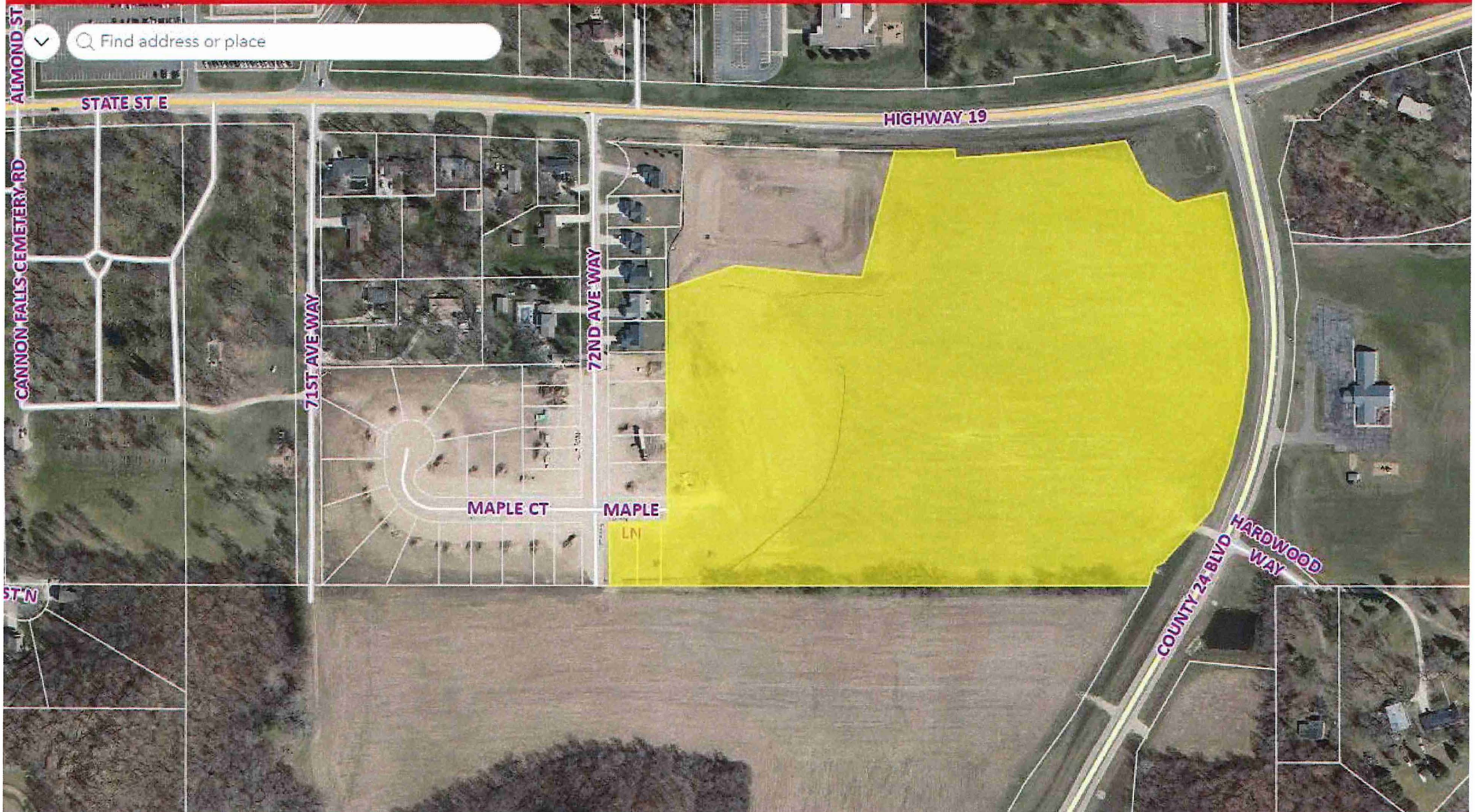
WHKS & co.



William Angerman, P.E.
Cannon Falls Consulting City Engineer

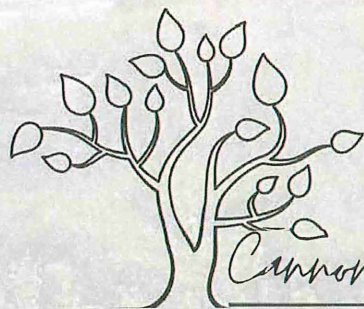
Cc: Jed Petersen, City of Cannon Falls
Jesse Preston, WHKS
Laura Qualey, CEDA
Daren Sikkink, WHKS

Cannon Falls Internal Parcel Viewer



LOTS START AT

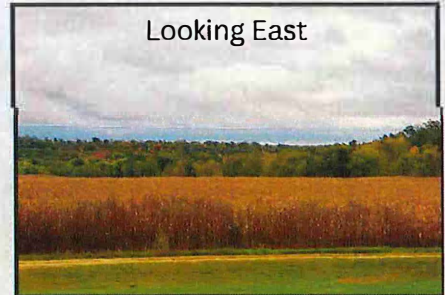
\$45,999



Cannon Falls, Minnesota

DEVELOPMENT FEATURES

- ## Looking West
-



HARDWOOD ESTATES**EXHIBIT B -1**

KNOW ALL PERSONS BY THESE PRESENTS: That Glenn M. Mulvihill, a single person, fee owner, and Merchants Bank National Association, a Minnesota corporation, mortgages, of the following described property situated in the County of Goodhue, State of Minnesota, to wit:

That part of the Northwest Quarter of Section 17, Township 112 North, Range 17 West, Goodhue County, Minnesota, described as follows:

Beginning at the southeast corner of the West Half of the West Half of the Southwest Quarter of the Northwest Quarter of said Section 17; thence northerly, along the east line of said West Half of the West Half of the Southwest Quarter of the Northwest Quarter of Section 17, to the intersection with a line 965.00 feet southerly of, measured at a right angle to, and parallel with the south line of Minnesota Street, as now located and established; thence easterly, along said parallel line, a distance of 620 feet, more or less, to the intersection with a line 950 feet easterly of, measured at a right angle to, and parallel with the west line of said Northwest Quarter of Section 17; thence northerly along said parallel line, a distance of 811 feet, more or less, to the centerline of State Trunk Highway No. 19, as now located and established; thence easterly along said centerline to the east line of said Northwest Quarter of Section 17; thence southerly along said east line to the southeast corner of said Northwest Quarter of Section 17; thence westerly, along the south line of said Northwest Quarter of Section 17 to the point of beginning.

Has caused the same to be surveyed and platted as **HARDWOOD ESTATES** and does hereby dedicate to the public for public use the public ways and drainage and utility easements as shown on the plat.

In witness whereof said Glenn M. Mulvihill, a single person, has hereunto set his hand this 17th day of November, 2014.

By Glenn M. Mulvihill
Glenn M. Mulvihill

STATE OF MINNESOTA
COUNTY OF Goodhue

This instrument was acknowledged before me on November 17, 2014, by Glenn M. Mulvihill.

Dianne Marie Howard
(Notary Public)

Notary Public, Goodhue County, Minnesota
My Commission Expires January 31, 2016



In witness whereof said Merchants Bank National Association, a Minnesota corporation, has caused these presents to be signed by its proper officer this 17th day of November, 2014.

MERCHANTS BANK NATIONAL ASSOCIATION

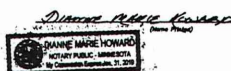
By Brian E. Hakanson
Brian E. Hakanson, Senior Vice-President

STATE OF MINNESOTA
COUNTY OF Goodhue

This instrument was acknowledged before me on November 17, 2014, by Brian E. Hakanson, Senior Vice President of Merchants Bank National Association, a Minnesota corporation, on behalf of the corporation.

Dianne Marie Howard
(Notary Public)

Notary Public, Goodhue County, Minnesota
My Commission Expires January 31, 2016



I hereby certify that I have surveyed or directly supervised the survey of the property described on this plat; that I prepared or directly supervised the preparation of this plat as **HARDWOOD ESTATES**; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on the plat; that all outside boundary monuments of the plat have been correctly set and that all other required monuments will be correctly set within one year of the recording of this plat; that as of the date of this certificate, all water boundaries and wetlands, as defined in Minnesota Statutes 505.01, Subd. 3, are shown and labeled on the plat; and that all public ways are shown and labeled on the plat.

Dated this 21st day of October, 2014.

Craig W. Morse
Craig W. Morse, Land Surveyor
Minnesota License No. 23021

STATE OF MINNESOTA
COUNTY OF MINNEAPOLIS

This instrument was acknowledged before me on this 21st day of October, 2014, by Craig W. Morse.

Shannon Sinner
(Notary Public)

Notary Public, Minneapolis County, Minnesota
My Commission Expires January 31, 2016

CITY PLANNING COMMISSION

Approved by the Planning Commission of the City of Cannon Falls, Minnesota, this 22nd day of May, 2014.

Daniel R. Bill
Chair

Ronald J. Olson
Secretary

CANNON FALLS, MINNESOTA

This plat of **HARDWOOD ESTATES** was approved and accepted by the City Council of Cannon Falls, Minnesota, at a regular meeting thereof held this 22nd day of May, 2014, and said plat is in compliance with the provisions of the Minnesota Statutes, Section 505.03, Subd. 2.

By Mayor
Mayor

By Manager
Manager

GOODHUE COUNTY AUDITOR/TREASURER

Taxes payable in the year 2014 on the land herein described have been paid, there are no delinquent taxes and transfer has been entered this 8th day of December, 2014.

Carolyn Hultberg
Goodhue County Auditor/Treasurer

GOODHUE COUNTY SURVEYOR

Pursuant to Chapter 389.09, laws of Minnesota, and Goodhue County Ordinance No. 2-78, this plat has been approved this 11th day of December, 2014.

Mike
Goodhue County Surveyor

GOODHUE COUNTY RECORDER

I hereby certify that the within instrument was filed in this office for record this 8th day of December, 2014, at 1:29 o'clock P.M. and was duly recorded as document number 618635.

Mike
Goodhue County Recorder



HARDWOOD ESTATES SECOND SUBDIVISION

EXHIBIT B-3

INSTRUMENT OF DEDICATION

KNOW ALL PERSONS BY THESE PRESENTS: That Glenn M. Mulvihill, a single person, fee owner and Cannon Falls Economic Development Authority, a Minnesota Corporation, contract purchaser of the following described property situated in the County of Goodhue, State of Minnesota, to wit:

Outlot A of Hardwood Estates, according to the recorded plat thereof, Goodhue County, MN.

Excepting, Parcel 2 of Goodhue County Right of Way Plat No. 211, according to the recorded plat thereof, Goodhue County, MN.

Containing 41.84 acres, more or less.

Has caused the same to be surveyed and platted as HARDWOOD ESTATES SECOND SUBDIVISION and do hereby dedicate to the public for public use the thoroughfares and dedicate the easements as shown on this plat for drainage and utility purposes and also dedicate the controlled access as shown on this plat.

In witness whereof said CANNON FALLS ECONOMIC DEVELOPMENT AUTHORITY, a Minnesota Corporation, has caused these presents to be signed by its proper officers this 25th day of April, 2024.

Signed: CANNON FALLS ECONOMIC DEVELOPMENT AUTHORITY

Jon Dahl
Jon Dahl, Chairperson

Luke Cooreman
Luke Cooreman, Treasurer

STATE OF MINNESOTA
COUNTY OF GOODHUE

The foregoing instrument was acknowledged before me this 25th day of April, 2024, by Jon Dahl, Chairperson and Luke Cooreman, Treasurer, of CANNON FALLS ECONOMIC DEVELOPMENT AUTHORITY, a Minnesota Corporation, on behalf of the corporation.

E. J. H. H. H.
Notary Public, Goodhue County, Minnesota

My Commission Expires 01/01/2028

In witness whereof said GLENN M. MULVIHILL, a single person, has hereunto set his hand this 25th day of April, 2024.

Glenn M. Mulvihill
Glenn M. Mulvihill

STATE OF MINNESOTA
COUNTY OF GOODHUE

The foregoing instrument was acknowledged before me this 24 day of April, 2024, by Glenn M. Mulvihill, a single person.

E. J. H. H. H.
Notary Public, Goodhue County, Minnesota

My Commission Expires 01/01/2028

CITY PLANNING COMMISSION, CITY OF CANNON FALLS, MINNESOTA

Approved by the Planning Commission of the City of Cannon Falls, Minnesota this 25 day of April, 2024.

Shirley Finn M. J. Finn
Chair Secretary

CITY COUNCIL, CITY OF CANNON FALLS, MINNESOTA

This Plat of HARDWOOD ESTATES SECOND SUBDIVISION was approved and accepted by the City Council of the City of Cannon Falls, Minnesota at a regular meeting thereof held this 25 day of April, 2024, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03.

By: M. J. Finn M. J. Finn
Mayor City Administrator

COUNTY SURVEYOR

Pursuant to Chapter 389.09, laws of Minnesota, this plat has been checked and approved, this 25th day of April, 2024.

Lisa M. H. H.
Lisa M. H. H., Goodhue County Surveyor

GOODHUE COUNTY AUDITOR/TREASURER

Taxes payable in the year 2024, on the land herein described, have been paid; there are no delinquent taxes and transfers have been entered on this 25th day of April, 2024.

L. H. H. H.
Goodhue County Auditor/Treasurer

GOODHUE COUNTY RECORDER

Document Number 698819

I hereby certify that this instrument was filed in the Office of the County Recorder for record on this 1 day of May, 2024, at 9:03 o'clock a. m. and was duly recorded as Document Number 698819.

E. J. H. H.
Goodhue County Recorder

SURVEYOR'S CERTIFICATE

I hereby certify that I have surveyed and platted the property described on this plat as HARDWOOD ESTATES SECOND SUBDIVISION; that this plat is a correct representation of the boundary survey, that all mathematical data and labels are correctly designated on the plat; that all monuments depicted on the plat have or will be correctly set within one year as indicated on the plat; that all water boundaries and wet lands as defined in MS 505.01, Subd. 3, existing as of the date of this certification are shown and labeled on the plat; and that all public ways are shown and labeled on the plat.

Dated this 17th day of April, 2024.

Timothy A. Hruska
Timothy A. Hruska, Land Surveyor
Minnesota License No. 44930

STATE OF MINNESOTA
COUNTY OF OLUSTEAD

The foregoing Surveyor's Certificate was acknowledged before me this 17th day of April, 2024, by Timothy A. Hruska, Minnesota License No. 44930.

Timothy A. Hruska
Notary Public, Olustead County, Minnesota

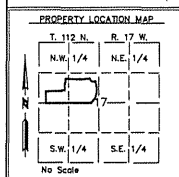
My Commission Expires 1/21/2028

whks
engineers • planners • land surveyors
425-A

OFFICIAL PLAT

NE CORNER NW 1/4
SEC. 17-T112N-R17W
GOODHUE COUNTY
MONUMENT

SEGMENT	CURVE DATA			
	CURVE LENGTH	RADIUS	DELTA	CHORD BEARING
C1	62.19	70.06	50°54'20"	60°17' 56" 46" 24"
C2	53.89	30.00	102°54'54"	41.93 51° 14' 13"
C3	76.19	60.00	72°45'35"	71.28 12° 18' 53"E
C4	47.07	80.00	44°57'00"	45.87 31° 32' 25"
C5	51.88	60.00	43°32'23"	50.28 17° 47' 07"
C6	51.03	60.00	48°43'38"	49.50 52° 04' 53"
C7	29.86	80.00	28°35'44"	29.63 51° 24' 42"
C8	40.01	130.00	17°23'04"	38.85 50° 45' 41"E
C9	54.15	130.00	23°31'57"	53.76 30° 27' 41"E
C10	54.15	130.00	23°31'57"	53.76 35° 18' 36"E
C11	54.15	130.00	23°31'57"	53.76 57° 11' 36"E



BEARING SYSTEM USED:

ALL BEARINGS ARE IN RELATIONSHIP
WITH THE GOODHUE COUNTY COORDINATE SYSTEM
(NAD 83, ADJUSTED 1998) WITH THE SOUTH LINE OF
THE NW 1/4 HAVING A BEARING OF S89°32'26"W.



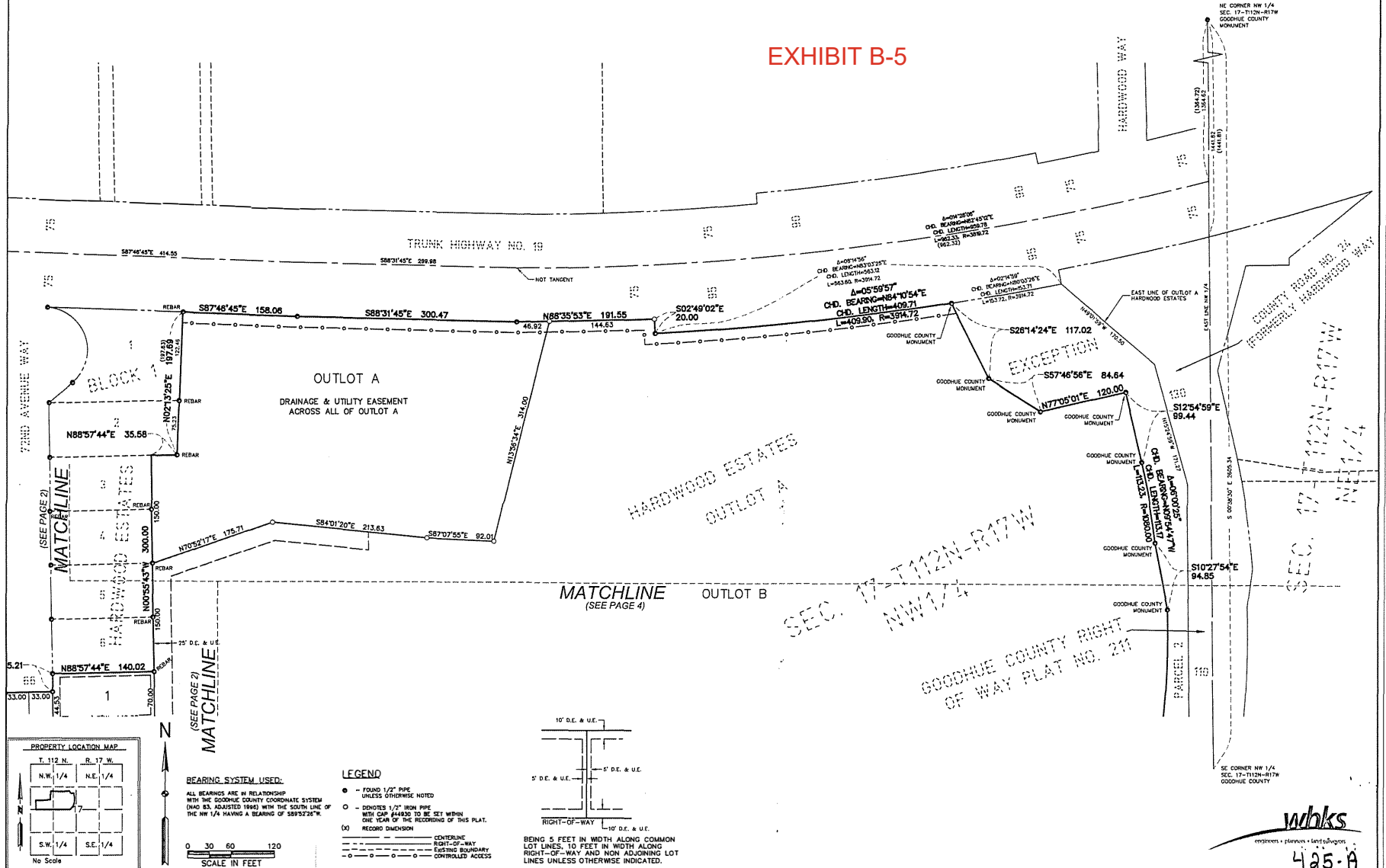
LEGEND

- (*) - FOUND 1/2" PIPE
UNLESS OTHERWISE NOTED
- O - DENOTES 1/2" IRON PIPE
FROM CAP #4930 TO BE SET WITHIN
ONE YEAR OF THE RECORDING OF THIS PLAT.
- (X) RECORD DIMENSION
- _____ CENTERLINE
_____ RIGHT-OF-WAY
_____ EXISTING BOUNDARY
O O O O O CONTROLLED ACCESS

BEING 5 FEET IN WIDTH ALONG COMMON LOT LINES, 10 FEET IN WIDTH ALONG RIGHT-OF-WAY AND NON ADJOINING LOT LINES UNLESS OTHERWISE INDICATED.

HARDWOOD ESTATES SECOND SUBDIVISION

EXHIBIT B-5



HARDWOOD ESTATES SECOND SUBDIVISION

EXHIBIT B-6

(SEE PAGE 3)
MATCHLINE(SEE PAGE 2)
MATCHLINESEC. 17-T112N-R17W
NW 1/4

OUTLOT B

HARDWOOD ESTATES
OUTLOT AHARDWOOD ESTATES
OUTLOT AGOODHUE COUNTY RIGHT
OF WAY PLAT NO. 211

EXCEPTION

SEC. 17-T112N-R17W
NE 1/4

N89°52'28"E 15.88

S89°52'28"W 1982.27

1170.62

SOUTH LINE NW 1/4

S83°24'38"W 18.03
S29°43'14"W 20.00
S11°49'17"W 32.54EAST LINE OF OUTLOT A
HARDWOOD ESTATES

302.89

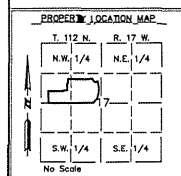
SOUTH LINE NE 1/4

SE CORNER NE 1/4
SEC. 17-T112N-R17W
GOODHUE COUNTY
MONUMENT

S 89°52'28" W 2874.05

SW CORNER SE 1/4
SEC. 17-T112N-R17W
GOODHUE COUNTY
MONUMENTS 89°52'28" E 2874.05
EAST LINE SE 1/4SEC. 17-T112N-R17W
SW 1/4

UNPLATTED



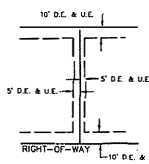
BEARING SYSTEM USED:

ALL BEARINGS ARE IN RELATIONSHIP
WITH THE GOODHUE COUNTY COORDINATE SYSTEM
(AND PL. ADJUSTED 1986) WITH THE SOUTH LINE OF
THE NW 1/4 HAVING A BEARING OF S89°52'28"W.

0 30 60 120
SCALE IN FEET

LEGEND

- - FOUND 1/2" PIPE
UNLESS OTHERWISE NOTED
- - DIMENSION 1/2" IRON PIPE
WITH CAP (MAY BE SET WITHIN
ONE YEAR OF THE RECORDING OF THIS PLAT.)
- (X) - RECORD DIMENSION
- CONTINUOUS
RIGHT-OF-WAY
- - - EXISTING BOUNDARY
- - - CONTROLLED ACCESS



BEING 5 FEET IN WIDTH ALONG COMMON
LOT LINES, 10 FEET IN WIDTH ALONG
RIGHT-OF-WAY AND NON ADJOINING LOT
LINES UNLESS OTHERWISE INDICATED.

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485-A

HARDWOOD ESTATES THIRD SUBDIVISION

PRELIMINARY PLAT

EXHIBIT C-1

LEGAL DESCRIPTION:

That part of Outlot B of HARDWOOD ESTATES SECOND, described as follows:

Beginning at the southwest corner of said Outlot B; thence North 00 degrees 07 minutes 34 seconds West, (Note: All bearings are in relationship with the Goodhue County Coordinate System NAD '83, Adjusted 1996), along the east line of Block 3 of HARDWOOD ESTATES SECOND, 153.00 feet to the south right-of-way line of Maple Lane; thence North 89 degrees 52 minutes 26 seconds East, along said south right-of-way line, 15.88 feet; thence North 00 degrees 55 minutes 43 seconds West, along the east line of Block 2 of HARDWOOD ESTATES SECOND and Block 1 of HARDWOOD ESTATES, 560.56 feet; thence North 70 degrees 52 minutes 17 seconds East, along the south line of Outlot A of HARDWOOD ESTATES SECOND, 175.71 feet; thence South 84 degrees 01 minutes 20 seconds East, along said south line, 213.63 feet; thence South 87 degrees 07 minutes 55 seconds East, along said south line, 92.01 feet; thence South 63 degrees 02 minutes 24 seconds East, 120.00 feet; thence North 26 degrees 57 minutes 36 seconds East, 16.02 feet; thence South 63 degrees 02 minutes 24 seconds East, 140.00 feet; thence South 26 degrees 57 minutes 36 seconds West, 360.00 feet; thence South 63 degrees 02 minutes 24 seconds East, 70.00 feet; thence South 26 degrees 57 minutes 36 seconds West, 321.99 feet to a point on the south line of said Outlot B; thence South 89 degrees 52 minutes 26 seconds West, along said south line, 469.04 feet to the Point of Beginning and there terminating.

AND

Block 3 of HARDWOOD ESTATES SECOND,

Containing 10.46 acres, more or less.

OWNER/

DEVELOPER: CANNON FALLS EDA
CONTACT: LAURA GUALEY
918 RIVER ROAD
CANNON FALLS, MN 55009

SURVEYOR:

TIMOTHY A. HRUSKA, P.E., L.S.
WHKS & CO
2905 SOUTH BROADWAY
ROCHESTER, MN 55904

ENGINEER:

DAVID MARTIN, P.E.
WHKS & CO
2905 SOUTH BROADWAY
ROCHESTER, MN 55904

PLAT AREA:

TOTAL PROPERTY AREA = 10.46 ACRES
TOTAL ROW AREA = 1.97 ACRES
NUMBER OF LOTS = 27 LOTS

ZONING

PROPOSED PUD (R-3), SINGLE FAMILY RESIDENTIAL

SINGLE FAMILY DETACHED

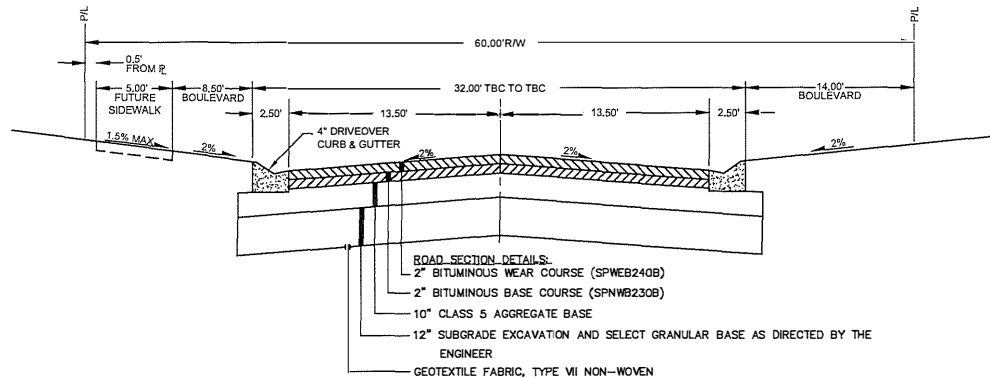
SETBACKS:

25' FRONT YARD
20' EXCEPT 25' FOR DOUBLE FRONTAGE REAR YARD
5.0' MIN. SIDE YARD (COMBINED TOTAL 15.0' FEET SIDE YARDS).
EXCEPT 20' FOR THE SIDE YARD OF A CORNER LOT ABUTTING A PUBLIC RIGHT-OF-WAY SIDE YARD

MIN. LOT DEPTH: 120'

MIN. LOT WIDTH: 80' CORNER LOT
60' INTERIOR LOT

MIN. LOT AREA: 11,000 SF



TYPICAL ROAD SECTION
NOT TO SCALE

EXHIBIT C-2



HARDWOOD ESTATES 3RD SUBDIVISION PRELIMINARY PLAT

EXHIBIT C-3

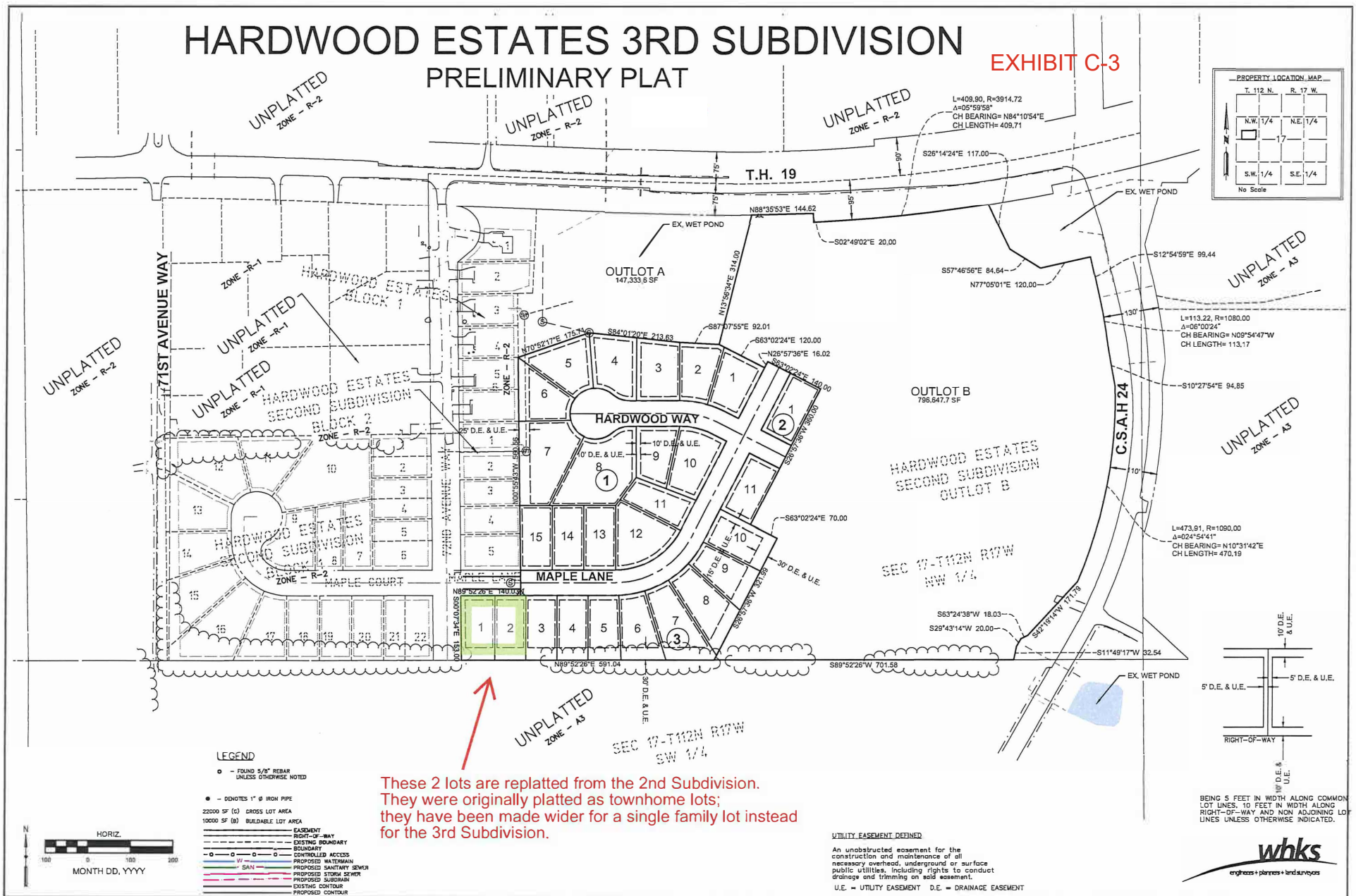
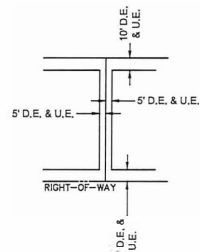


EXHIBIT C-4

0 - FOUND 5/8" REBAR
 UNLESS OTHERWISE NOTED
 ● - DENOTES 1" Ø IRON PIPE
 22000 SF (c) DROSS LOT AREA
 10000 SF (b) BUILDABLE LOT AREA
 _____ EASEMENT
 _____ RIGHT-OF-WAY
 _____ EXISTING BOUNDARY
 _____ BOUNDARY
 _____ CONTROLLED ACCESS
 _____ PROPOSED WATERSHED
 _____ SAN
 _____ PROPOSED SANITARY SEWER
 _____ PROPOSED STORM SEWER
 _____ PROPOSED SUBDRAIN
 _____ EXISTING SUBURBAN
 _____ EXISTING CENTER

An unobstructed easement for the construction and maintenance of all necessary overhead, underground or surface public utilities, including rights to conduct drainage and trimming on said easement.

U.E. = UTILITY EASEMENT D.E. = DRAINAGE EASEMENT



BEING 5 FEET IN WIDTH ALONG COMMON LOT LINES, 10 FEET IN WIDTH ALONG RIGHT-OF-WAY AND NON ADJOINING LOT LINES UNLESS OTHERWISE INDICATED.



HARDWOOD ESTATES 3RD SUBDIVISION

PRELIMINARY PLAT

EXHIBIT C-5

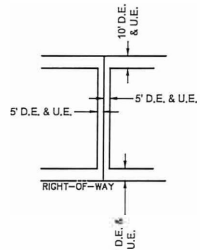
LEGEND

- - FOUND 5/8" REBAR
UNLESS OTHERWISE NOTED
- - DENOTES 1" Ø IRON PIPE
- 22000 SF (C) CROSS LOT AREA
- 10000 SF (B) BUILDABLE LOT AREA
- CASSEMENT
- RIGHT-OF-WAY
- DRAINAGE BOUNDARY
- CONTROLLED ACCESS
- PROPOSED WATERMAIN
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED SUBSTATION
- EXISTING CONTOUR
- PROPOSED EASEMENT

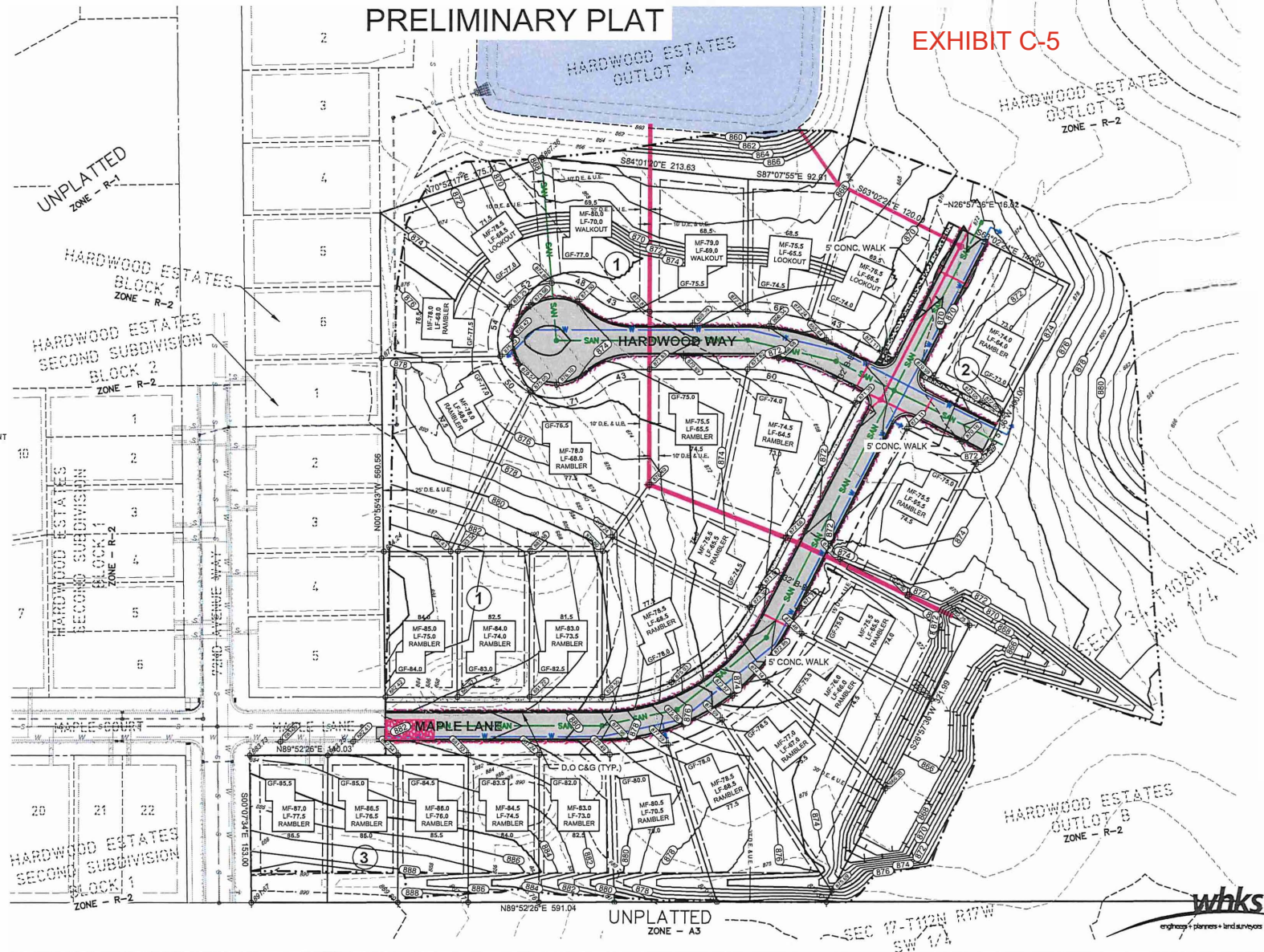
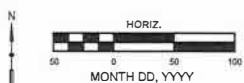
UTILITY EASEMENT DEFINED

An unobstructed easement for the construction and maintenance of all necessary overhead, underground or surface public utilities, including rights to conduct drainage and trimming on said easement.

U.E. = UTILITY EASEMENT D.E. = DRAINAGE EASEMENT



BEING 5 FEET IN WIDTH ALONG COMMON LOT LINES, 10 FEET IN WIDTH ALONG RIGHT-OF-WAY AND NON ADJOINING LOT LINES UNLESS OTHERWISE INDICATED.

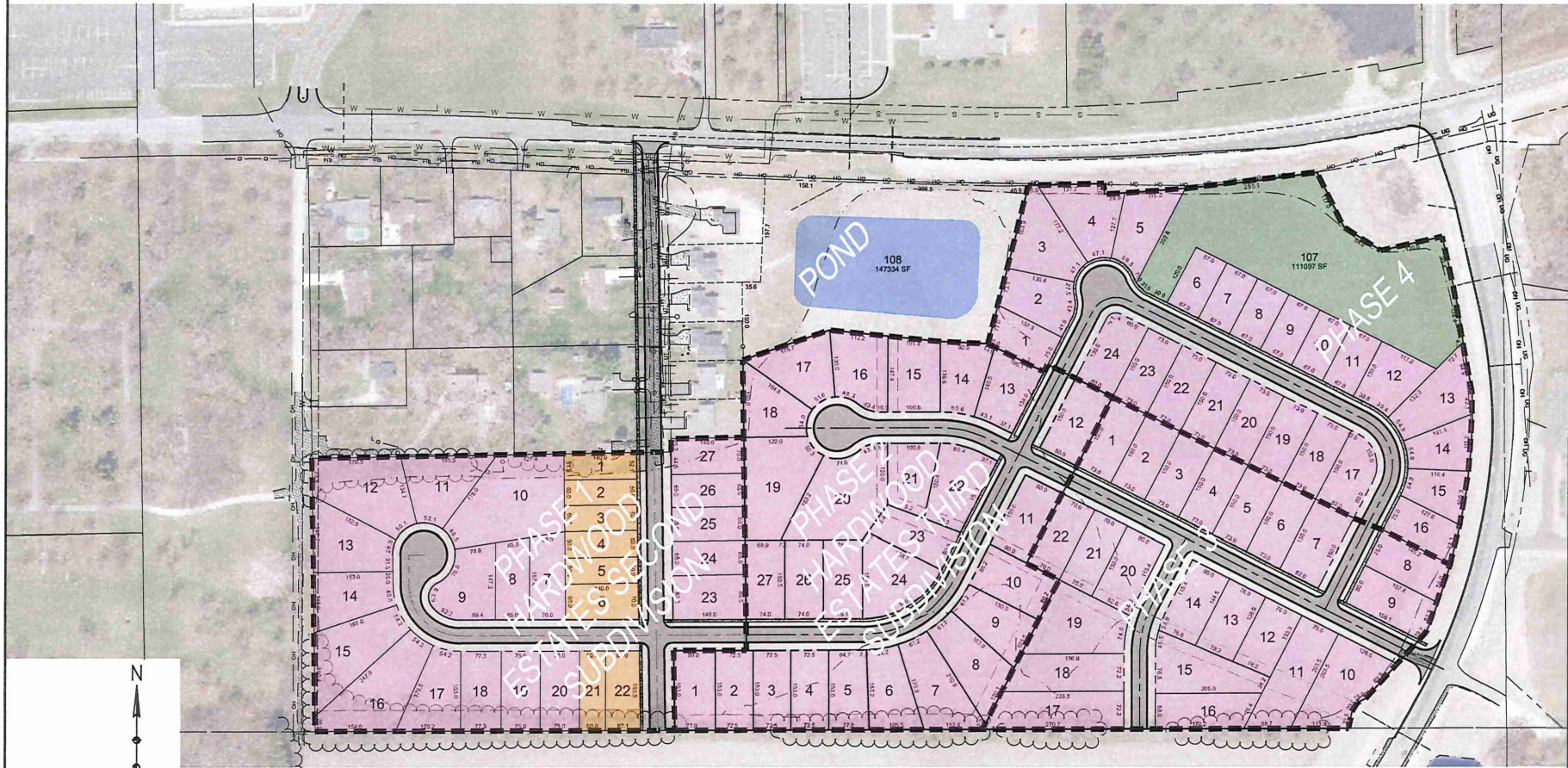


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HARDWOOD ESTATES THIRD SUBDIVISION

PUD EXHIBIT **EXHIBIT D**

whks
engineers • planners • landscape architects



FILE PATH: C:\bushwhke-pr-01\hardwood-estates-3rd-pud-exhibit.dwg PLOT DATE: 4/8/2025 9:09 AM

HORIZ.
100 0 100 200

94 SINGLE FAMILY LOTS

6 TOWNHOME LOTS

PARK AREA

OWNER/DEVELOPER: CANNON FALLS EDA
CONTACT: LAURA QUALE
918 RIVER ROAD
CANNON FALLS, MN 55009

SURVEYOR: TIMOTHY A. HRUSKA, P.E., L.S.
WHKS & CO
2905 SOUTH BROADWAY
ROCHESTER, MN 55904

ENGINEER: DAVID MARTIN, P.E.
WHKS & CO
2905 SOUTH BROADWAY
ROCHESTER, MN 55904

PLAT AREA: TOTAL PROPERTY AREA = 10.46 ACRES
TOTAL ROW AREA = 1.97 ACRES
NUMBER OF LOTS = 27 LOTS

ZONING: PROPOSED PUD (R-2), SINGLE FAMILY RESIDENTIAL

SINGLE FAMILY DETACHED

SETBACKS: 25' FRONT YARD
20' EXCEPT 25' FOR DOUBLE FRONTAGE REAR YARD
5.0' MIN. SIDE YARD (COMBINED TOTAL 15.0' FEET SIDE YARDS).
EXCEPT 20' FOR THE SIDE YARD OF A CORNER LOT ABUTTING A PUBLIC RIGHT-OF-WAY SIDE YARD

MIN. LOT DEPTH: 120'

MIN. LOT WIDTH: 80' CORNER LOT
60' INTERIOR LOT

MIN. LOT AREA: 11,000 SF

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
David A. Martin
Date: _____ License No. 51131

REVISIONS

NO.	DATE	DESCRIPTION

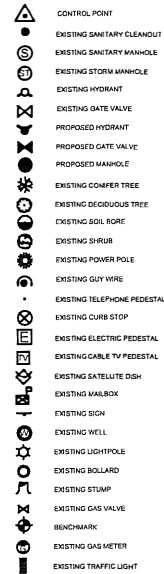
1 PUD EXHIBIT

HARDWOOD ESTATES THIRD SUBDIVISION
CANNON FALLS, MINNESOTA
2025

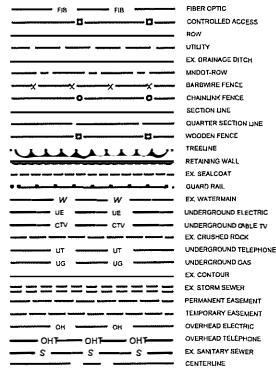
SCALE: AS SHOWN
WHKS PROJECT NO. 10196
DRAWN BY: KML
CHECKED BY: JPP
SHEET

1 OF 1

SYMBOL LEGEND



LINE LEGEND



HARDWOOD ESTATES THIRD SUBDIVISION CANNON FALLS, MINNESOTA 2025

INDEX

SHEET 1	TITLE SHEET
SHEET 2-5	DETAILS
SHEET 6-7	SWPPP
SHEET 8	TYPICAL ROAD SECTION & SERVICE TABLE
SHEET 9	EXISTING CONDITIONS PLAN (COLOR)*
SHEET 10	GRADING PLAN (COLOR)*
SHEET 11	EROSION CONTROL PLAN (COLOR)*
SHEET 12	PED RAMP GRADES (COLOR)*
SHEET 13-22	PLAN AND PROFILE (COLOR)*

*SELECT PLAN SHEETS WERE PRODUCED IN COLOR AND SHOULD BE PRINTED AS SUCH TO AVOID MISREPRESENTATIONS OR MISUNDERSTANDINGS.

GOVERNING SPECIFICATIONS

THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND ANY SUPPLEMENTAL SPECIFICATIONS SHALL GOVERN, EXCLUDING DIVISION I.

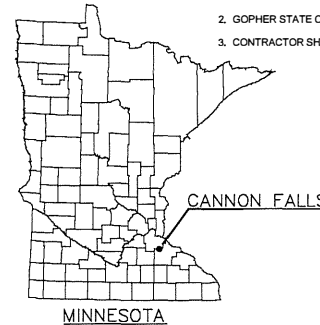
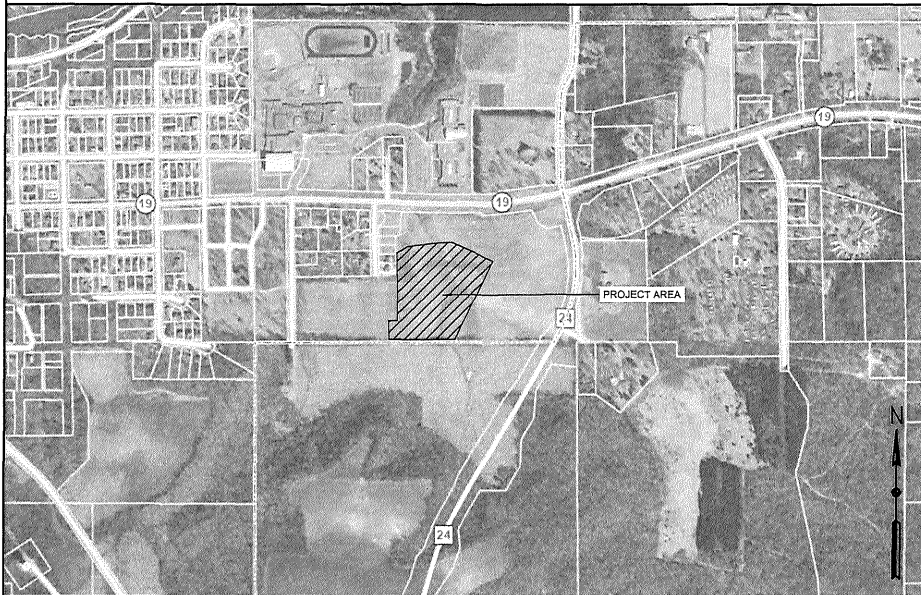
NOTES:

1. WHERE PUBLIC UTILITY FIXTURES OR FACILITIES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THESE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION INVOLVING EXCAVATION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES OR RELOCATION. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND UTILITY OPERATOR LOCATION MARKINGS THAT WERE REQUESTED THROUGH GOPHER STATE ONE CALL; THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. TYPE, SIZE AND GENERAL LOCATION OF THE FACILITIES WERE REQUESTED OF THE OPERATORS AND SHOWN ON THE PLANS, AND IF NECESSARY, UPDATED WITHIN 90 DAYS OF COMPLETION OF THE FINAL PLANS. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY THE WORK.

2. GOPHER STATE ONE CALL TELE: 1-800-252-1166.

3. CONTRACTOR SHALL COORDINATE UTILITY RELOCATIONS WITH THE UTILITY COMPANIES, THIS SHALL BE INCIDENTAL TO THE PROJECT.

PROJECT LOCATION



CITY OFFICIALS

MAYOR: MATT MONTGOMERY
COUNCIL: RYAN JEPPESEN
CHAD JOHNSON
DIANE JOHNSON
LAURA KRONENBERGER
CHRIS NOBACH
LISA ZIMMERMAN

CITY ADMINISTRATOR: JON RADERMACHER
PUBLIC WORKS DIRECTOR: JED PETERSON

RECOMMENDED FOR APPROVAL _____ DATE _____
CITY ENGINEER

UTILITY LOCATION UTILITY QUALITY LEVEL C UNLESS OTHERWISE INDICATED

UTILITY LOCATION PERFORMED ON: 4/11/23
GOPHER ONE CALL TICKET NUMBERS:
231011663, 231011765, 231011843, 231011844, 231011908

I hereby certify that this plan, specification or report was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

David A. Martin
Date _____ License No. 51131



NOTES

- REFER TO PLANS AND S.O.P. 1-11 & 1-12 FOR TYPE OF FRAME, CONE, AND CURB BOX.
- ADJUSTING RINGS SHALL BE PER S.O.P. 1-13, AND BE FULLY EXTENDED WITH AN EXTENDED CONCRETE HEIGHT OF RINGS SHALL BE 2" MINIMUM MAXIMUM WITH 2 RINGS MAXIMUM PLUS OR MINUS 1" HORIZONTAL OFF CURB ALIGNMENT.
- REINFORCING SHALL BE A MINIMUM OF SINGLE LINE STEEL WIRE FABRIC HAVING AN AREA OF NOT LESS THAN 0.12 SQ. IN. PER FOOT OF HEIGHT.
- NO STEPS REQUIRED.
- PROVIDE CONCRETE FLETTES TO FIT BOTTOM PORTION OF STRUCTURE AND TO DIRECT THE FLOW TO OUTLET AT MINIMUM SLOPE OF 1/4" PER FOOT. MINIMUM CONCRETE THICKNESS AT OUTLET 1 1/2".
- SEE S.O.P. 2-01, 2-05 AND 2-06 FOR FLOOR, CUTTER AND REINFORCEMENT DETAILS AT CATCH BASINS.
- SEE S.O.P. 1-08 FOR SUBURBAN DETAILS AT CATCH BASINS AS SHOWN ON PLANS.
- CONCRETE BLOCK WITH NON SHIRK GROUT. NON SHIRK GROUT SHALL BE AIR-ENTRAINED. INTERIOR SHALL BE TUCK POINTED BRUSHED SMOOTH. EXTERIOR SHALL BE SHOP-PASTERED.
- SEW BETWEEN TOP ADJUSTING RING AND CASTING. FILL ANNUAL SPACE WITH AIR-ENTRAINED NONSHIRK. SOW SHALL BE PLASTIC OR CONCRETE (WOOD OR OTHER MATERIALS ARE NOT ACCEPTABLE).
- USE PROTECTIVE COATING AS SPECIFIED FROM CASTING TO 12" BELOW BOTTOM OF ADJUSTING RINGS.
- STRUCTURE BACKFILL AROUND ALL STRUCTURES SHALL BE BACKFILLED WITH GRANULAR BACKFILL WITHIN 4" OF THE OUTSIDE OF THE STRUCTURE, AS SPECIFIED.

SECTION A-A

SECTION B-B

STRUCTURE TYPE 1 (PRECAST)

REVISION: 12/21/19
SHEET: 1 OF 2
PLATE NO. 1-01

NOTES

- CONE SHALL BE CONCENTRIC. REFER TO W/OT S.P. 4005.
- REFER TO PLANS AND S.O.P. 1-11 AND 1-12 FOR CASTING REQUIRED. CASTING SHALL BE BOLTED TO CONCRETE IN FIELD APPLICATIONS.
- ADJUSTING RINGS SHALL BE PER S.O.P. 1-13, AND WATERPROOFING PER S.O.P. 1-07.
- REINFORCING SHALL BE A MINIMUM OF A SINGLE LINE STEEL WIRE FABRIC HAVING AN AREA OF NOT LESS THAN 0.12 SQ. IN. PER FOOT OF HEIGHT.
- STEPS ARE SPACED 18" O.C. MAXIMUM AND SHALL CONFORM TO W/OT S.P. 4180. STEPS SHALL BE ORIENTED ON THE UPSTREAM LEFT SIDE AS SHOWN.
- ALL JOINTS TO BE GASKETED. REFER TO W/OT S.P. 3726.
- PROVIDE CONCRETE FLETTES TO FIT BOTTOM PORTION OF PIPE TO DIRECT FLOW TO OUTLET AT 1/4" PER FT. MINIMUM SLOPE. SHAPE CHANNELS TO HAVE SMOOTH ROUNDED INTERIORS. DEPTH OF CHANNELS SHALL NOT BE LESS THAN 1/2 THE PIPE SIZE.
- FOR WATER TIGHT SEAL REFER TO W/OT S.P. 4007.
- DROP INLET USED FOR SANITARY SEWER DROPS GREATER THAN 2.0 FT.
- MAXIMUM PIPE SIZE: 24" FOR STRAIGHT TURNS TO 135° 18" FOR 90° BEND.
- DROP PIPE TO BE INCADED IN AIR-ENTRAINED, NON-SHRINK GROUT IF FLEXIBLE PIPE IS USED. INCADEDMENT BLOCK ARE REQUIRED FOR ALL PIPES.
- FILL DIRT PIPE TO SPAN EXCAVATION LIMITS. PIPE PAD PER L.F. PIPE MATERIAL. CHANGE AND FITTINGS ARE INCIDENTAL TO TYPE 3A STRUCTURE.
- DROP PIPE TO BE SAME DIAMETER AS INLET PIPE.

SECTION A-A

PLAN

TYPE 3A FOR DROP-INLET

STRUCTURE TYPES 3 AND 3A (PRECAST) (SANITARY SEWER)

REVISION: 01/10/25
SHEET: 1 OF 1
PLATE NO. 1-03

NOTES

- MANHOLE COVER SHALL CONFORM TO W/OT S.P. 4005.
- MANHOLE BASE SHALL CONFORM TO W/OT S.P. 4011.
- REFER TO PLANS AND S.O.P. 1-11 AND 1-12 FOR CASTING REQUIRED. CASTING SHALL BE BOLTED TO CONCRETE IN FIELD APPLICATIONS.
- ADJUSTING RINGS SHALL BE PER S.O.P. 1-13, AND WATERPROOFING FOR SANITARY MANHOLES PER S.O.P. 1-07.
- REINFORCING SHALL BE A MINIMUM OF A SINGLE LINE STEEL WIRE FABRIC HAVING AN AREA OF NOT LESS THAN 0.12 SQ. IN. PER FOOT OF HEIGHT.
- STEPS ARE SPACED AT 18" O.C. MAXIMUM AND SHALL CONFORM TO W/OT S.P. 4180. STEPS SHALL BE ORIENTED ON THE UPSTREAM LEFT SIDE. (STEPS REQUIRED ON MANHOLE IF PLUS IN DETAIL).
- ALL JOINTS TO BE GASKETED, WITH 2 RINGS AT TOP SLAB. REFER TO W/OT S.P. 3726.

CATCH BASIN

STORM MANHOLE

SANITARY MANHOLE

MANHOLE TOP SLAB

ALTERNATE TOP SLAB FOR CATCH BASINS

MANHOLE TOP SLAB		MANHOLE DIMENSIONS		MAXIMUM PIPE SIZE	
L	W	X	Y	Z	90°
17"	6"	12"	58"	48"	27"
20.5"	6"	12"	65"	54"	33"
24"	7"	12"	72"	60"	36"
27.5"	7"	12"	79"	66"	42"
31"	8"	12"	86"	72"	48"
34.5"	8"	12"	93"	78"	54"
38"	9"	12"	100"	84"	60"
41.5"	9"	12"	107"	90"	66"
45"	9"	12"	114"	96"	72"
48.5"	9"	12"	121"	102"	78"
51"	10"	12"	128"	108"	84"
58"	11"	12"	140"	120"	96"

STRUCTURE TYPE 4 (XX in.)

REVISION: 02/23/25
SHEET: 1 OF 2
PLATE NO. 1-04

NOTES

- INTERNAL WATER BARRIER PER ASTM D4976, MUST MATCH PRE-CAST CONE DIAMETER.
- EXTERNAL WATER BARRIER WRAP (ALL JOINTS) PER ASTM D677.
- TOP TOP OF SEAL TO 1" BELOW CASTING LID. CASTING SHALL NOT REST ON SEAL (REMOVE PLASTIC BURRS FROM THE TOP).
- PLACE 2 RINGS OF SEALANT ON TOP OF CONE SECTION AND BENEATH SEAL.
- FOR NEW STRUCTURES, SET EITHER 1/8" BELOW THE FLEXIBLE PAVEMENT OR FLUSH WITH THE RIGID PAVEMENT SURFACE.
- WORKING BETWEEN ALL JOINTS WITH AIR ENTRAINED CONCRETE EXCEPT BETWEEN WATER BARRIER AND 1ST RING.
- SEALANT REQUIRED AS SPECIFIED BY MANUFACTURER OF 1 & 1 BARRIER.

INTERNAL WATER BARRIER

SIZE CHART

A	B	C
21 3/4"	23 7/8"	5 3/4"
21 3/4"	23 7/8"	7 1/4"
21 3/8"	23 7/8"	9 1/4"
24 1/2"	25 3/4"	6 1/2"

SIZE USED IS DEPENDENT ON MATERIAL. THIS MANHOLE IS CONSTRUCTED OUT OF.

MANHOLE WATERPROOFING (PAVED AREAS)

REVISION: 12/21/19
SHEET: 1 OF 2
PLATE NO. 1-07

NOTES

- CONSTRUCT 1'-2" TOPSOIL DISBURGMENT AROUND MANHOLE. (SEE PLANS).
- EXTERNAL CHIMNEY SEAL PER ASTM C923 SHALL EXTEND 3" MINIMUM BELOW THE TOP OF THE PRECAST-SECURED WITH STAINLESS STEEL COMPRESSION BANDS, CONFORMING TO CASTING AND CONE.
- 12" EXTERNAL SINKING WRAP (ALL JOINTS) PER ASTM D677.
- CASTING SHALL BE BOLTED TO THE STRUCTURE.

MANHOLE WATERPROOFING (NON-PAVED AREAS)

NOTES

- SHEET ALUMINUM SIGN BOLTED TO POST. SIGN SHALL READ "W" IN 2 INCH BLACK LETTERS ON WHITE REFLECTORIZED BACKGROUND.
- FLANGED CHANNEL SIGN POSTS SHALL BE A MINIMUM OF 3.75 POUNDS PER FOOT, AND SHALL MEET W/OT S.P. 3401.
- 1/8" SHEET STEEL SHALL BE ASTM A1011. DRIVE D SHALL BE BOX REBAR WELDED TO CHANNEL.
- INSTALL MARKER WHEN MANHOLE IS PLACED OUTSIDE OF THE ROADWAY.

STRUCTURE TYPE 4 (XX in.)

REVISION: 12/21/19
SHEET: 1 OF 2
PLATE NO. 1-08

NOTES

- CLEANOUT W/ DETECTABLE CAP.
- 6" PER. P.V.C. SUBURBAN.
- CAP UPSTREAM END.
- FINISHED GRADE.
- DETECTABLE P.V.C. CAP.
- 45° BEND.
- CLASS 5 ACC. BASE SUBURBAN OR EXISTING GROUND.
- CONNECT TO STORM SEWER (INCIDENTAL).
- 6" PER. RING - W/OT S.P. 3245 N/C/TEXTILE WRAP - W/OT S.P. 3712-TYPE 1 INVERT 4" BELOW TOP BACK OF CURB (TYPICAL).

EDGE SUBDRAIN CONNECTIONS

PLAN VIEW

SECTION VIEW

EDGE SUBDRAIN DETAIL

SUBSURFACE EDGE DRAINS

REVISION: 12/21/19
SHEET: 1 OF 2
PLATE NO. 1-08

NOTES

- A VALVE BOX TOP SECTION SHALL BE USED AS A CURB BOX COVER. WHATEVER THE CURB BOX FALLS INTO NEW OR REPLACED CONCRETE SIDEWALK, DRIVE APPROACH, OR BITUMINOUS PAVEMENT AREAS.
- VALVE BOX TOP SECTION SHALL BE OF THE SCREEN TYPE. HAVE A MINIMUM INSIDE SHIRT DIAMETER OF 5 1/4", AND HAVE A CAP WITH THE WORD "WATER" PLAINLY MARKED ON TOP.
- VALVE BOX COVER SHALL BE OF THE LOCKING TYPE.
- CURB BOX-SEWER CAP IS TO BE A MINIMUM OF 4" AND A MINIMUM OF 6" BELOW THE FINISHED PAVEMENT GRADE.
- CURB BOX RESEAL ADJUSTMENT. ADDITIONAL CONCRETE AND THE FURNISHING & INSTALLATION OF VALVE BOX TOP SECTION AND COVER, SHALL BE INCLUDED IN PAYMENT FOR CURB BOX COVER.

CURB BOX COVER

STRUCTURE TYPE 4 (XX in.)

REVISION: 12/21/19
SHEET: 1 OF 1
PLATE NO. 1-10

NOTES

1. THE UPSTREAM ENDS OF THE PERFORATED PIPE SHALL BE CAPPED WITH A DETECTABLE CAP. THE CAPS ARE INCIDENTAL. PLACE PERFORATED PIPE WITH THE PERFORATIONS DOWN.

STRUCTURE TYPE 4 (XX in.)

REVISION: 12/21/19
SHEET: 1 OF 2
PLATE NO. 1-08

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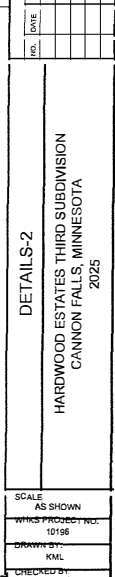
STRUCTURE TYPE 4 (XX in.)

REVISION: 12/21/19
SHEET: 1 OF 2
PLATE NO. 1-08

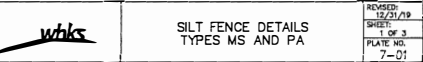
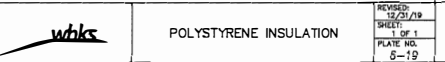
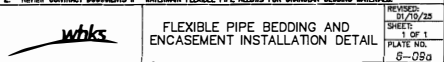
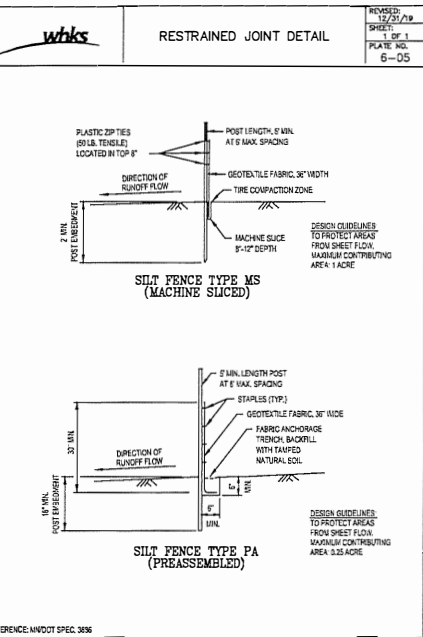
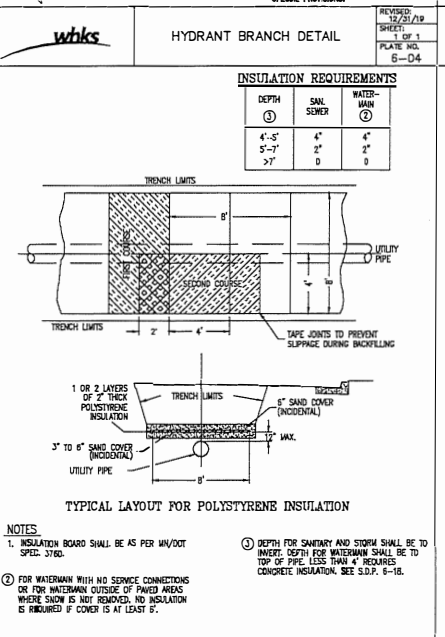
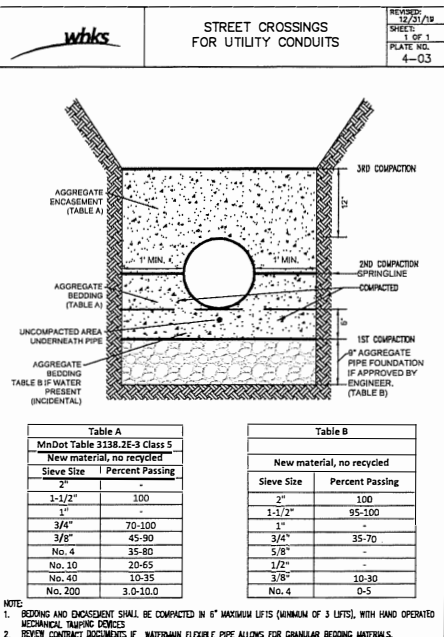
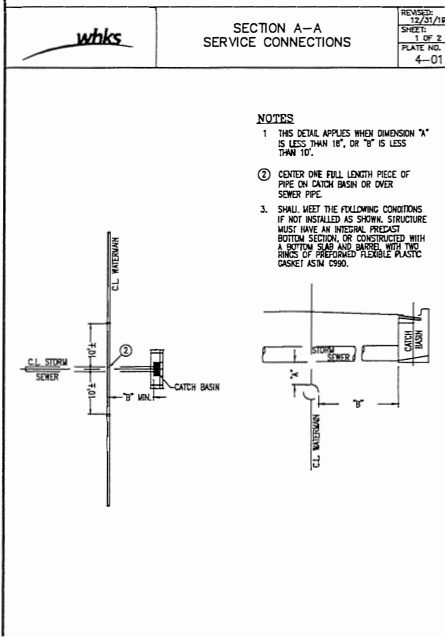
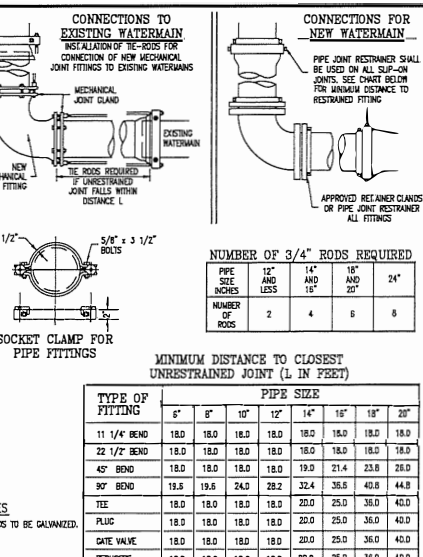
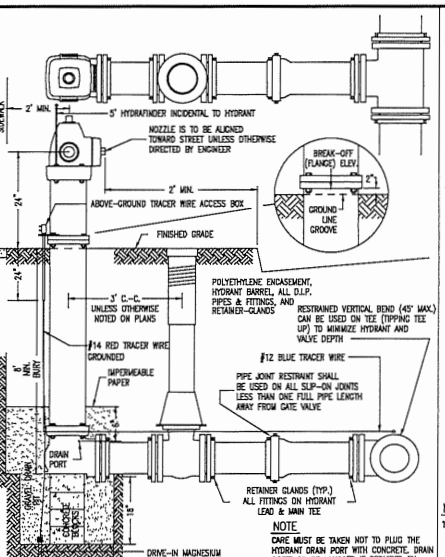
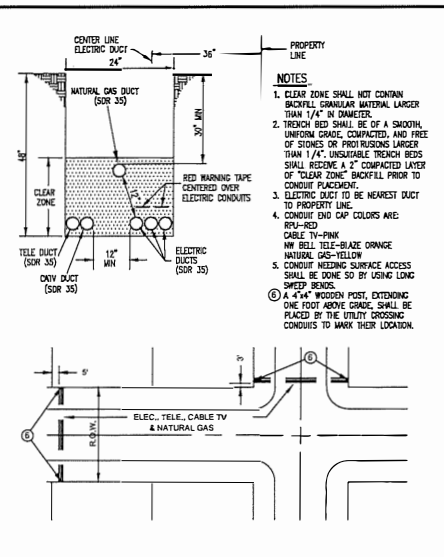
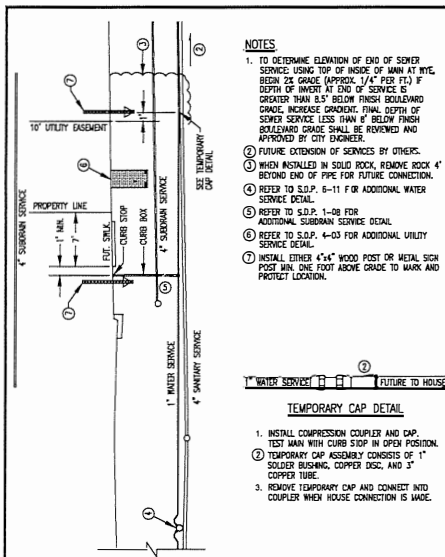
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

David A. Martin _____
 Date _____ License No. 51131

REVISIONS	DESCRIPTION



JPP
SHEET
3 OF 22



whks

engineers • planners • landscape architects

REVISIONS

NO.	DATE	DESCRIPTION
1		
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DETAILS-3

HARDWOOD ESTATES THIRD SUBDIVISION

CANNON FALLS, MINNESOTA

2025

SCALE:

AS SHOWN

WHKS PROJECT NO.

10196

DRAWN BY:

KAL

CHECKED BY:

JPP

SHEET

4 OF 22

<p>SILT FENCE TYPE HI (HAND INSTALLED)</p> <p>DESIGN GUIDELINES TO PROTECT AREAS FROM SHEET FLOW. MAXIMUM CONTRIBUTING AREA: 1 ACRE.</p> <p>OPTIONAL METHOD</p> <p>① COARSE FILTER AGGREGATE (MN/DOT SPEC. 3149) SHALL BE INCIDENTAL.</p> <p>REFERENCE: MN/DOT SPEC. 3066</p>	<p>PERSPECTIVE VIEW</p> <p>PLAN VIEW</p>	<p>TYPE 2: BIOROLL DITCH CHECK USE ON ROUGH GRADED AREAS</p> <p>BIOROLL STAKING DETAIL</p> <p>NOTES: SEE SPECS. 2573, 3 889. SEE SHEET 1 FOR DITCH CHECK SPACING. ① POINT "X" MUST BE A MINIMUM OF 8 INCHES HIGHER THAN POINT "Y" TO ENSURE THAT WATER FLOWS OVER THE DIKE AND NOT AROUND THE ENDS.</p>	<p>ENDS SECURELY CLOSED TO PREVENT LOSS OF OPEN GRADED AGGREGATE FILL. SECURED WITH 50 PSF ZIP TIE.</p> <p>NOTES: SEE MN/DOT SPEC. 2573 MANUFACTURED ALTERNATIVES LISTED ON MN/DOT'S APPROVED PRODUCTS LIST MAY BE SUBSTITUTED. ① GEOTEXTILE SOCK BETWEEN 4-10 FEET LONG AND 4-6 INCH DIAMETER. THE SEAM IS TO BE JOINED BY TWO ROWS OF STITCHING WITH A PLASTIC MESH BACKING OR PROVIDE A HEAT BONDED SEAM (OR APPROVED EQUIVALENT). FILL ROCK LOG WITH OPEN GRADED AGGREGATE CONSISTING OF SOUND DUMBLE PARTICLES OF COARSE AGGREGATE CONFORMING TO MN/DOT SPEC. 3 137 TABLES 137-4-6 DESIGNATION 1.</p>	<div><p>engineers • planners • landscape architects</p></div> <table><tr><td>REVISIONS</td><td>DATE</td><td>DESCRIPTION</td></tr><tr><td>NO.</td><td></td><td></td></tr></table> <div>DETAILS-4</div> <div>HARDWOOD ESTATES THIRD SUBDIVISION CANNON FALLS, MINNESOTA 2025</div> <table><tr><td>SCALE:</td><td>AS SHOWN</td></tr><tr><td>WHKS PROJECT NO.</td><td>10196</td></tr><tr><td>DRAWN BY:</td><td>KML</td></tr><tr><td>CHECKED BY:</td><td>JPP</td></tr><tr><td>SHEET</td><td>5 OF 22</td></tr></table> <div>David A. Martin License No. 51131 Date: _____</div>	REVISIONS	DATE	DESCRIPTION	NO.			SCALE:	AS SHOWN	WHKS PROJECT NO.	10196	DRAWN BY:	KML	CHECKED BY:	JPP	SHEET	5 OF 22
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<p>SEDIMENT CONTROL INLET HAT</p> <p>NOTE: THE SEDIMENT CONTROL BARRIER SHALL BE A METAL OR PLASTIC/POLYETHYLENE RISER SIZED TO FIT INSIDE THE CATCH BASIN MANHOLE. HAVE AN OVERFLOW OPENING, FLANGES AND A LID COVER.</p>	<p>SILT FENCE DETAILS - J-HOOK INSTALLATION</p> <p>NOTES: ① ALL GEOTEXTILE USED FOR INLET PROTECTION SHALL BE NON-CORROSIVE IN BOTH DIRECTIONS, MEETING MN/DOT SPEC. 3886. ② FINISHED SIZE, INCLUDING GPOOKETS WHERE REQUIRED SHALL EXTEND A MINIMUM OF 10 INCHES AROUND THE PERIMETER TO FACILITATE MAINTENANCE/REMOVAL. ③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2 IN. X 4 IN. OR USE A ROCK SOCK OR SAND BAGS IN PLACE OF THE FLAP POCKETS. ④ INSTALLATION NOTES: DO NOT INSTALL FILTER BAG INSERT IN INLETS SHALLOWER THAN 30 IN. MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. THE PLACED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE OF 2" BETWEEN THE INLET WALLS AND THE BAG. MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES. WHERE NECESSARY THE CONTRACTOR SHALL CLIMB THE BAG LIFTING PLASTIC ZIP TIES, TO ACHIEVE THE 2" SIDE CLEARANCE.</p>	<p>TEMP. SEDIMENT CONTROL TYPE 2 DITCH CHECK</p> <p>SLASH MULCH, CRUSHED ROCK, OR SHEET PAD CONSTRUCTION EXIT ②③</p> <p>SEE SHEET 2 OF 3 FOR DETAIL NOTES</p>	<p>INLET PROTECTION ROCK LOG/COMPOST LOG</p> <p>NOTES: SEE MN/DOT SPECS. 2573 & 3882. ① MINIMUM LENGTH SHALL BE THE GREATER OF 50 FEET OR A LENGTH SUFFICIENT TO ALLOW A MINIMUM OF 5 TIRE ROTATIONS ON THE PROVIDED PAD. MINIMUM LENGTH SHALL BE CALCULATED USING THE LARGEST TIRE WHICH WILL BE USED IN TYPICAL OPERATIONS. ② PROVIDE RADIIUS OR WIDEN PAD SUFFICIENTLY TO PREVENT VEHICLE TIRES FROM TRACKING OFF OF PAD WHEN LEAVING SITE. ③ IF RUNOFF FROM DISTURBED AREAS FLOWS TOWARD CONSTRUCTION EXITS, PREVENT RUNOFF FROM DRAINING DIRECTLY TO PUBLIC ROAD OR CONSTRUCTION EXIT BY CROWNING THE EXIT OR SLOPING TO ONE SIDE. IF SURFACE GRADING IS INSUFFICIENT, PROVIDE OTHER MEANS OF INTERCEPTING RUNOFF. ④ IF RUNOFF FROM CONSTRUCTION EXITS WILL DRAIN OFF OF PROJECT SITE, PROVIDE SEDIMENT TRAP WITH STABILIZED OVERFLOW. ⑤ IF A TIRE WASH OFF IS REQUIRED THE CONSTRUCTION EXITS SHALL BE GRADED TO DRAIN THE WASH WATER TO A SEDIMENT TRAP. ⑥ MINIMUM LENGTH OF RUMBLE PAD SHALL BE 20 FEET, OR AS REQUIRED TO REMOVE SEDIMENT FROM TIRES. IF SIGNIFICANT SEDIMENT IS TRACKED FROM THE SITE, THE RUMBLE PAD SHALL BE LENGTHENED OR THE DESIGN MODIFIED TO PROVIDE ADDITIONAL VERTICAL WASH-OFF LENGTH SHALL BE AS REQUIRED TO EFFECTIVELY REMOVE CONSTRUCTION SEDIMENT FROM VEHICLE TIRES. ⑦ MAINTENANCE OF CONSTRUCTION EXITS SHALL OCCUR WHEN THE EFFECTIVENESS OF SEDIMENT FURNAL HAS BEEN REDUCED. MAINTENANCE SHALL CONSIST OF REPAIRING SEDIMENT AND CLEANING THE MATERIALS OR PLACING ADDITIONAL MATERIAL (SLASH MULCH OR CRUSHED ROCK) OVER SEDIMENT FILLED MATERIAL TO RESTORE EFFECTIVENESS.</p>	<div><p>engineers • planners • landscape architects</p></div> <table><tr><td>REVISIONS</td><td>DATE</td><td>DESCRIPTION</td></tr><tr><td>NO.</td><td></td><td></td></tr></table> <div>DETAILS-4</div> <div>HARDWOOD ESTATES THIRD SUBDIVISION CANNON FALLS, MINNESOTA 2025</div> <table><tr><td>SCALE:</td><td>AS SHOWN</td></tr><tr><td>WHKS PROJECT NO.</td><td>10196</td></tr><tr><td>DRAWN BY:</td><td>KML</td></tr><tr><td>CHECKED BY:</td><td>JPP</td></tr><tr><td>SHEET</td><td>5 OF 22</td></tr></table> <div>David A. Martin License No. 51131 Date: _____</div>	REVISIONS	DATE	DESCRIPTION	NO.			SCALE:	AS SHOWN	WHKS PROJECT NO.	10196	DRAWN BY:	KML	CHECKED BY:	JPP	SHEET	5 OF 22
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FILE PATH: c:\urban\shks-pr-01\dm055\10198 TITLE DETAILS SWPPP.dwg PLOT DATE: 4/8/2025 3:20 PM

PROJECT LOCATION AND GENERAL SITE INFORMATION

PROJECT CONSISTS OF THE CONSTRUCTION OF STREETS AND UTILITIES FOR A RESIDENTIAL SUBDIVISION. PROJECT IS LOCATED SOUTH OF STATE HIGHWAY 19 AND WEST OF COUNTY ROAD 24 IN CANNON FALLS, MN.

TRAINING REQUIREMENTS

THE CONTRACTOR WILL ENSURE THAT THE TRAINING REQUIRED IN THE GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY IS COMPLIED WITH.

THE INDIVIDUAL TRAINED AND THE TRAINING RECEIVED WILL BE RECORDED IN THE SWPPP BEFORE THE START OF CONSTRUCTION OR AS SOON AS PERSONNEL FOR THE PROJECT HAVE BEEN DETERMINED.

LONG TERM OPERATION AND MAINTENANCE

THE CITY OF CANNON FALLS MAINTENANCE DEPARTMENT WILL BE RESPONSIBLE FOR THE LONG TERM OPERATION AND MAINTENANCE OF THE PERMANENT STORMWATER MANAGEMENT.

JED PETERSON
PUBLIC WORKS DIRECTOR
918 RIVER ROAD
CANNON FALLS, MN 55009
(507)-263-9300

KARST REGION

THERE ARE NO KNOWN KARST FEATURES (SINKHOLES, BLIND VALLEYS, MAPPED CAVES, SPRINGS, OR KARST WINDOWS).

INSPECTIONS AND REPORTS PRACTICES

ROUTINE INSPECT ON OF THE ENTIRE CONSTRUCTION SITE SHALL OCCUR AT LEAST ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS.

AT A MINIMUM, INSPECTIONS AND REPORTS MUST INCLUDE THE FOLLOWING:

- (1) DATE AND TIME OF INSPECTION.
- (2) NAME OF PERSON CONDUCTING INSPECTIONS
- (3) CONDITIONS OF SURFACE WATERS, DITCHES, CONVEYANCE SYSTEMS, AND VEHICLE EXITS.
- (4) FINDING OF INSPECTIONS, INCLUDING RECOMMENDATIONS FOR CORRECTIVE ACTIONS.
- (5) CORRECTIVE ACTIONS TAKEN, INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITIES.
- (6) DATE AND AMOUNT OF ALL RAINFALL EVENTS GREATER THAN 0.5 INCHES IN 24 HOURS.
- (7) DOCUMENTATION OF CHANGES MADE TO THE SWPPP WITHIN 7 DAYS.

RECEIVING SURFACE WATERS: DISCHARGE TO IMPAIRED WATERS & SPECIAL WATERS

THE TABLE BELOW IDENTIFIES ALL SURFACE WATERS WITHIN 1-MILE OF THE DISTURBED SOIL PROJECT BOUNDARIES, WHICH WILL RECEIVE STORMWATER RUNOFF FROM THE CONSTRUCTION SITE, DURING OR AFTER CONSTRUCTION.

RECEIVING SURFACE WATERS		
NAME OF WATER BODY	SPECIAL WATER(1)	IMPAIRED WATER (2)
CANNON RIVER	YES	YES

WETLAND AREAS

THIS PROJECT DOES NOT DISCHARGE STORMWATER WITH THE POTENTIAL FOR SIGNIFICANT ADVERSE IMPACTS TO A WETLAND.

DISTURBED SOIL AREA

TOTAL DISTURBED SOILS AREA FOR THIS PROJECT IS 13.1 ACRES.

IMPERVIOUS SOIL AREA

EXISTING AREA OF IMPERVIOUS SURFACE IS 0.0 ACRES.
POST CONSTRUCTION AREA OF IMPERVIOUS SURFACE IS 1.2 ACRES.
INCREASE OF IMPERVIOUS SURFACE IS 1.2 ACRES (PHASE 2 CONSTRUCTION ONLY).

THE INCREASE OF IMPERVIOUS SURFACES IS GREATER THAN 1.00 ACRE.

SOIL TYPES

THE SOIL TYPES FOUND ON THIS PROJECT ARE HSG A, B and C.

TEMPORARY SEDIMENT BASINS

THIS CONSTRUCTION PROJECT IS DESIGNED TO INCLUDE A SEDIMENT BASIN. SEE PLANS FOR DETAILS.

PERMANENT STORMWATER MANAGEMENT SYSTEM

ALL STORMWATER MUST BE DISCHARGED IN A MANNER THAT DOES NOT CAUSE NUISANCE CONDITIONS, EROSION IN RECEIVING WATERS OR ON DOWNSLOPE PROPERTIES, OR INUNDATION IN WETLANDS CAUSING A SIGNIFICANT ADVERSE IMPACT TO THE WETLANDS.

THIS PROJECT HAS AN INCREASE OF 1 OR MORE ACRE(S) OF IMPERVIOUS AREA. A PERMANENT STORMWATER MANAGEMENT SYSTEM IS ALREADY IN PLACE FOR THE PROJECT AREA.

CONSTRUCTION PHASING - EROSION AND SEDIMENT CONTROL SEQUENCING

SILT FENCE, CONSTRUCTION ENTRANCES, AND/OR OTHER SUITABLE PERIMETER BMP'S AS PROVIDED IN THE PLANS WILL BE INSTALLED PRIOR TO THE START OF ANY LAND DISTURBING ACTIVITY. CONSTRUCTION WILL BE REQUIRED TO BE PHASED SO THAT ALL DOWN GRADIENT SEDIMENT CONTROL MEASURES ARE INSTALLED PRIOR TO OR IN CONJUNCTION WITH ANY SOIL DISTURBING ACTIVITIES. THESE BMP'S SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION.

WHEN THE EXISTING TOPSOIL IS DISTURBED, THE TOPSOIL WILL BE STRIPPED AND STOCKPILED IN SOIL BERMS. STOCK PILED TOPSOIL BERMS WILL NOT BE PLACED IN ANY STORMWATER CONVEYANCES.

UPON COMPLETION OF THE CONSTRUCTION ACTIVITIES, THE STOCKPILED TOPSOIL BERMS WILL BE RE-SPREAD AND PERMANENT VEGETATION WILL BE ESTABLISHED AS PROVIDED IN THE PLAN.

ALL SOIL DISTURBING ACTIVITIES MUST BE COMPLETED AND ALL SOILS MUST BE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OVER THE ENTIRE PVIOUS SURFACE AREA. OR OTHER EQUIVALENT MEANS NECESSARY TO PREVENT FUTURE SOIL FAILURE UNDER EROSION CONDITIONS. ALL SEDIMENT MUST BE REMOVED FROM CONVEYANCE SYSTEMS AND DITCHES MUST BE STABILIZED WITH PERMANENT COVER. FINAL STABILIZATION SHALL BE DONE IN ACCORDANCE WITH THE PERMIT

EROSION PREVENTION PRACTICES

FOR AREAS WHERE DISTURBED SOILS DRAIN TO AN IMPAIRED OR SPECIAL WATER THE EXPOSED SOIL MUST BE STABILIZED NO LATER THAN 7 DAYS (14 DAYS IF NOT IMPAIRED OR SPECIAL WATER) AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA CEASED. SEE THE IMPAIRED & SPECIAL WATERS SECTION OF THIS SWPPP FOR ADDITIONAL BMP REQUIREMENTS FOR DISTURBED AREAS THAT DRAIN TO A SPECIAL OR IMPAIRED WATER.

SOILS SHALL BE STABILIZED WITHIN 24 HOURS FOR ACTIVITIES THAT ARE ADJACENT TO AND DRAIN TO PUBLIC WATERS WITH RESTRICTIONS DURING FISH SPAWNING TIMES.

THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE THAT DRAINS WATER FROM ANY PORTION OF THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE SITE, MUST BE STABILIZED WITHIN 200 LINEAL FEET FROM THE POINT OF DISCHARGE INTO ANY SURFACE WATER. STABILIZATION OF THE LAST 200 LINEAL FEET MUST BE COMPLETED WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER.

PIPE CULVERT OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER. THIS WILL INCLUDE DRAINAGE DITCHES THAT DRAIN WATER FROM ANY PORTION OF THE CONSTRUCTION SITE.

SEDIMENT CONTROL PRACTICES

TEMPORARY STOCKPILED TOPSOIL BERMS MUST INCLUDE PERIMETER BMP'S AS PROVIDED IN THE PLAN AT LOCATIONS WHERE CONSTRUCTION STORMWATER DRAINS FROM THE PROJECT.

A 50 FOOT NATURAL BUFFER, OR REDUNDANT SEDIMENT CONTROLS IF BUFFER IS NOT FEASIBLE, SHALL BE USED NEAR SURFACE WATERS.

IN ORDER TO MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES, THERE SHALL BE NO UNBROKEN SLOPE LENGTH OF GREATER THAN 75 FEET FOR SLOPES WITH A GRADE OF 1:3 OR STEEPER.

ALL STORM DRAIN INLETS AND CULVERTS MUST BE PROTECTED BY APPROPRIATE BMP'S DURING CONSTRUCTION UNTIL ALL SOURCES WITH A POTENTIAL DISCHARGE TO THE INLET OR CULVERT HAVE BEEN STABILIZED.

VEHICLE TRACKING OF SEDIMENT FROM THE CONSTRUCTION SITE MUST BE MINIMIZED BY THE USE OF A STABILIZED CONSTRUCTION ENTRANCE AND OTHER BMP'S. STREET SWEEPING MUST BE USED IF SEDIMENT IS BEING TRACKED OFF THE CONSTRUCTION SITE.

UNLESS OTHERWISE SPECIFIED IN THE PERMIT, ALL NONFUNCTIONAL BMP'S MUST BE CLEANED, REPAIRED, REPLACED, OR SUPPLEMENTED WITHIN 24 HOURS AFTER DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW FOR ACCESS.

LOCATION OF SWPPP REQUIREMENTS

REQUIREMENT	TITLE	LOCATION	MN/DOT SPECIFICATION	SPECIAL PROVISION
NPDES PERMIT COMPLIANCE	SWPPP		1701, 1702, & 1717	1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT)
CERTIFIED PERSONNEL IN EROSION AND SEDIMENT CONTROL SITE MANAGEMENT	PROJECT CONTACTS	SWPPP PLANSET PAGE	1506, 1717, & 2573	1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT)
CHAIN OF RESPONSIBILITY	PROJECT CONTACTS			1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT)
PROJECT SCHEDULE / WEEKLY EROSION & SEDIMENT CONTROL SCHEDULE / COMPLETED INSPECT ON / MAINTENANCE LOG				
SWPPP PREPARATION				
SITE MAP / RECEIVING WATERS / DIRECTION OF FLOW	GENERAL LAYOUT	PLANS	1717	
PROJECT SPECIFIC CONSTRUCTION STAGING			1717	1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT) 1806 (DETERMINATION AND EXTENSION OF CONTRACT TIME)
TEMPORARY EROSION AND SEDIMENT CONTROL BMP LOCATIONS, INSTALLATION, TIMING OF INSTALLATION, AND TYPE OF BMP	QUANTITY TABULATIONS	PLANS	2573 & 2575	2573 (STORMWATER MANAGEMENT)
ADDITIONAL TEMPORARY AND OR PERMANENT EROSION AND SEDIMENT CONTROL BMP'S NOT PROVIDED OR SHOWN IN THE PLAN			1717, 2573, & 2575	1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT) 2575 (RAPID STABILIZATION SPECIFICATION)
MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES, REMOVAL OF TRACKED SEDIMENT, REMOVAL OF DEVICES	SEDIMENT CONTROL PRACTICES	SWPPP PLANSET PAGE	1717 & 2573	1514 (MAINTENANCE DURING CONSTRUCTION) 1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT)
DEWATERING	DEWATERING & DRAINING	SWPPP DOCUMENT	2105.3B & 2451.3C	DEWATERING MAY ALSO REQUIRE A DNR PERMIT. NO DEWATERING IS ANTICIPATED FOR THIS PROJECT.
FINAL STABILIZATION	QUANTITY TABULATIONS	PLANS & SPECS	1717, 2573, & 2575	1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT)
TEMPORARY EROSION AND SEDIMENT CONTROL DETAILS	EROSION CONTROL	PLAN DETAILS		
PERMANENT EROSION CONTROL DETAILS	EROSION CONTROL	PLAN DETAILS		

PROJECT CONTACTS

RESPONSIBLE AGENCY / PARTY	TRAINING / REFRESH EVERY 3 YEARS	DATE OF TRAINING	CONTACT NAME	PHONE NUMBER
MPCA	NPDES		BRIAN GREEN	507-206-2610
MPCA	EMERGENCY		STATE DUTY OFFICER	800-422-0798
DNR	NOT REQUIRED		PETER LEETE	651-296-6569
COE	NOT REQUIRED		DAVE STUDENSKI	507-895-2084
SWPPP PREPARATION	U OF MN DESIGN OF SWPPP EXPIRES 5/27	JOHN CHAPMAN ONLINE FALL 2023	TYLER BAUMBACH	507-288-3923
INSPECTOR			TO BE DETERMINED	
PROJECT ENGINEER	U OF MN DESIGN OF SWPPP EXPIRES 5/27	JOHN CHAPMAN ONLINE FALL 2023	TYLER BAUMBACH	507-288-3923
EROSION CONTROL SUPERVISOR (CONTRACTOR)	TO BE DETERMINED		TO BE DETERMINED	
CHAIN OF RESPONSIBILITY	NOT REQUIRED		TO BE DETERMINED	

EROSION & SEDIMENT CONTROL SCHEDULE:

- 1) MARK GRADING LIMITS AND "DO NOT DISTURB AREAS".
- 2) INSTALL PERIMETER EROSION CONTROL.
- 3) CONSTRUCT STABILIZED VEHICLE EXITS.
- 4) INSTALL INLET PROTECTION.
- 5) BEGIN GRADING OPERATIONS.
- 6) INCREMENTALLY SEED AND BLANKET AREAS OR SOD AS GRADING PROGRESSES.
- 7) MAINTAIN AND UPDATE INLET PROTECTION THROUGH JOB PHASES.
- 8) COMPLETE MAINTENANCE AND REPAIRS OF EROSION AND SEDIMENT CONTROLS.
- 9) STABILIZE FINAL INCREMENT OF GRADING AREA.
- 10) MONITOR GRASS GROWTH AND RESEED/RESOD WHERE NEEDED UNTIL SITE IS STABILIZED.
- 11) REMOVE SILT FENCE AND OTHER TEMPORARY EROSION CONTROLS.
- 12) CLEAN BASINS OF ALL CONSTRUCTION RELATED SEDIMENTATION WHENEVER VOLUME REACHES 1/2 STORAGE VOLUME.
- 13) FILE "NOTICE OF TERMINATION" WITH THE MPCA.


RECORD RETENTION

THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WILL BE AMENDED IF THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS THAT HAS A SIGNIFICANT IMPACT ON THE DISCHARGE TO SURFACE WATERS OR UNDERGROUND WATERS. THE PLAN WILL ALSO BE AMENDED IF IT IS PROVEN TO BE INADEQUATE IN CONTROLLING POLLUTANTS IN STORM WATER DISCHARGES DUE TO CONSTRUCTION ACTIVITIES.

THE SWPPP, ORIGINAL AND COPIES, MUST BE KEPT ON SITE DURING CONSTRUCTION BY THE PERMITTEE WHO HAS OPERATIONAL CONTROL OF THE SITE. ALL OWNERS MUST KEEP THE SWPPP, TRAINING DOCUMENTATION, RECORDS OF ALL INSPECTION AND MAINTENANCE, ALL PERMANENT OPERATION AND MAINTENANCE AGREEMENTS, ALL REQUIRED CALCULATIONS FOR DESIGN OF STORMWATER MANAGEMENT SYSTEMS, AND ANY OTHER PERMITS REQUIRED FOR THE PROJECT FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOTICE OF TERMINATION AS DESCRIBED IN ILLD

QUANTITIES:

- 1 EACH TEMPORARY ROCK CONSTRUCTION ENTRANCE
 - 791 L.F. SILT FENCE
 - 10 EACH INLET PROTECTION
- *ADDITIONAL TEMPORARY BMP'S MAY BE USED IF NECESSARY, AS APPROVED BY THE ENGINEER



WHK CONSULTING & ENGINEERING

REVISIONS

NO.	DATE	DESCRIPTION

SWPPP-1

HARDWOOD ESTATES THIRD SUBDIVISION
CANNON FALLS, MINNESOTA
2025

SCALE: AS SHOWN

WHKS PROJECT NO. 10196

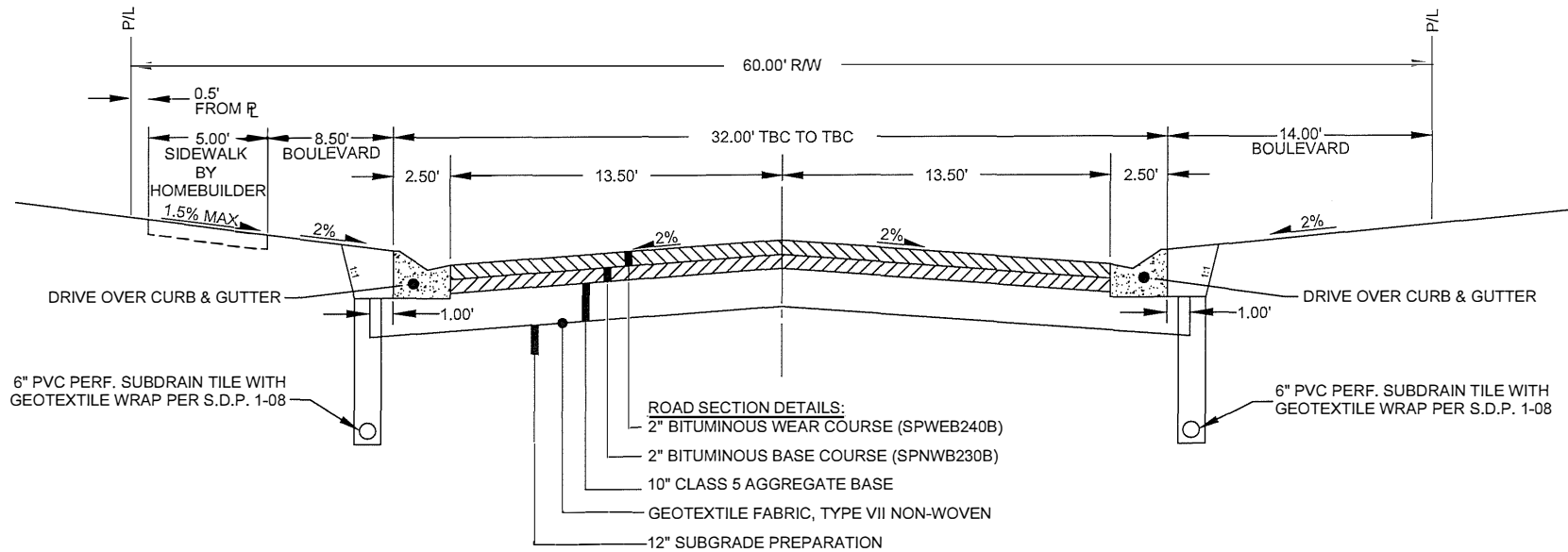
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CHECKED BY: JPP

SHEET 6 OF 22

I hereby certify that this plan, specification or other work was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

David A. Jahan License No. 51331 Date



TYPICAL ROAD SECTION
NOT TO SCALE

SERVICE CONNECTIONS												
BLOCK	LOT	SERVICE LOCATION		ELEVATION AT END OF SANITARY LATERAL	RISER HEIGHT AT MAIN	SERVICE PIPE SLOPE	SEWER SERVICE LENGTH FROM MAIN TO EASEMENT	SDR 26 PVC SANITARY SERVICE SIZE	4" WYE	WATER SERVICE	FINISH GROUND ELEVATION AT CURB BOX	SANITARY LATERAL DEPTH
		STATION AT WYE	SIDE									
1	1	73+03.58	LEFT	863.3	3.1	2.0%	40.0	4"	1	1"	871.7	8.4
1	2	72+36.79	LEFT	862.3	2.4	2.0%	45.4	4"	1	1"	872.4	10.1
1	3	72+36.79	LEFT	865.8	6.4	2.0%	40.0	4"	1	1"	873.1	7.3
1	4	71+65.01	LEFT	866.8	7.7	2.0%	43.1	4"	1	1"	874.2	7.4
1	5	70+62.14	LEFT	865.3	7.3	2.0%	44.2	4"	1	1"	875.0	9.7
1	6	69+95.09	LEFT	864.8	5.8	2.0%	65.6	4"	1	1"	875.4	10.6
1	7	69+98.43	LEFT	864.8	5.3	2.0%	75.6	4"	1	1"	875.2	10.4
1	8	70+06.14	RIGHT	864.8	5.7	2.0%	46.2	4"	1	1"	874.3	9.5
1	9	70+55.23	RIGHT	862.3	2.9	2.0%	40.0	4"	1	1"	873.2	10.9
1	10	71+61.14	RIGHT	860.0	0.0	2.0%	38.9	4"	1	1"	871.9	12.0
1	11	72+86.35	RIGHT	862.5	0.0	2.0%	40.0	4"	1	1"	872.9	10.4
1	12	22+83.71	LEFT	864.8	0.0	2.0%	31.0	4"	1	1"	874.7	9.9
1	13	21+51.25	LEFT	870.0	0.0	2.0%	40.0	4"	1	1"	880.2	10.2
1	14	19+89.66	LEFT	871.1	0.0	2.0%	40.0	4"	1	1"	881.4	10.3
1	15	19+14.96	LEFT	872.3	0.0	2.0%	40.0	4"	1	1"	882.1	9.8
2	1	74+18.96	LEFT	861.5	0.0	2.0%	40.0	4"	1	1"	871.0	9.6
3	2	17+27.15*	RIGHT	871.9	0.0	2.0%	30.63*	4"	0	1"	882.9	11.1
3	3	18+53.45	RIGHT	872.1	0.0	2.0%	40.0	4"	1	1"	882.1	10.1
3	4	19+25.90	RIGHT	871.0	0.0	2.0%	40.0	4"	1	1"	881.5	10.5
3	5	19+98.45	RIGHT	869.9	0.0	2.0%	40.0	4"	1	1"	880.2	10.3
3	6	20+57.07	RIGHT	867.9	0.0	2.0%	44.5	4"	1	1"	878.2	10.2
3	7	21+10.28	RIGHT	865.9	0.0	2.0%	45.1	4"	1	1"	876.3	10.3
3	8	21+63.52	RIGHT	864.6	0.0	2.0%	48.5	4"	1	1"	874.5	9.9
3	9	22+16.62	RIGHT	863.0	0.0	2.0%	39.4	4"	1	1"	873.6	10.6
3	10	22+87.79	RIGHT	862.4	0.0	2.0%	40.0	4"	1	1"	872.9	10.5
3	11	74+12.96	RIGHT	861.4	0.0	2.0%	40.0	4"	1	1"	871.4	10.0

*STATION AND LENGTH MEASURED FROM POINT OF CONNECTION TO EXISTING SERVICE



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
David A. Taitien License No. 51331 Date _____

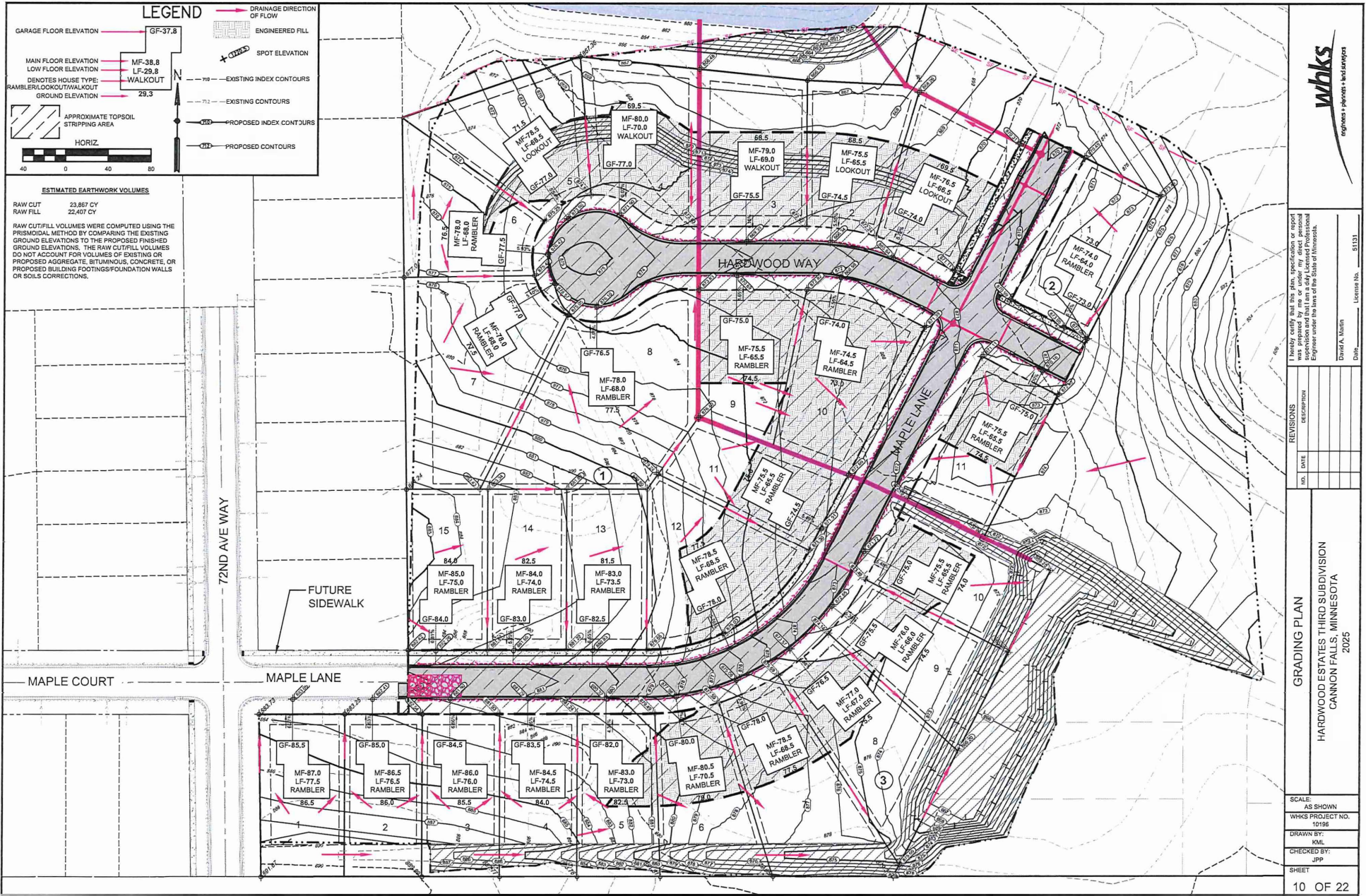
REVISIONS		DATE	BY	DESCRIPTION
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TYPICAL ROAD SECTION & SERVICE TABLE
HARDWOOD ESTATES THIRD SUBDIVISION
CANNON FALLS, MINNESOTA
2025

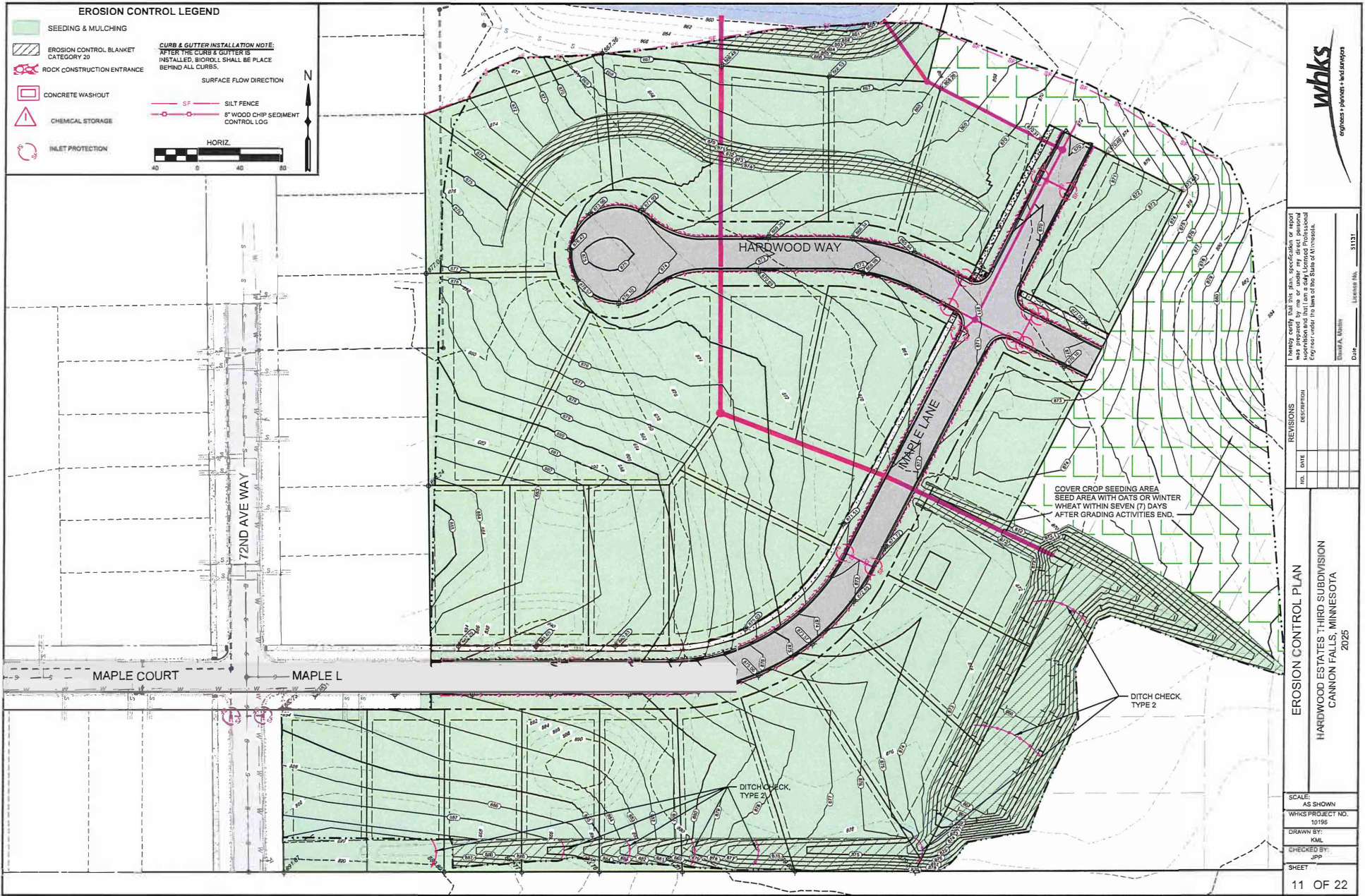
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SHEET 8 OF 22

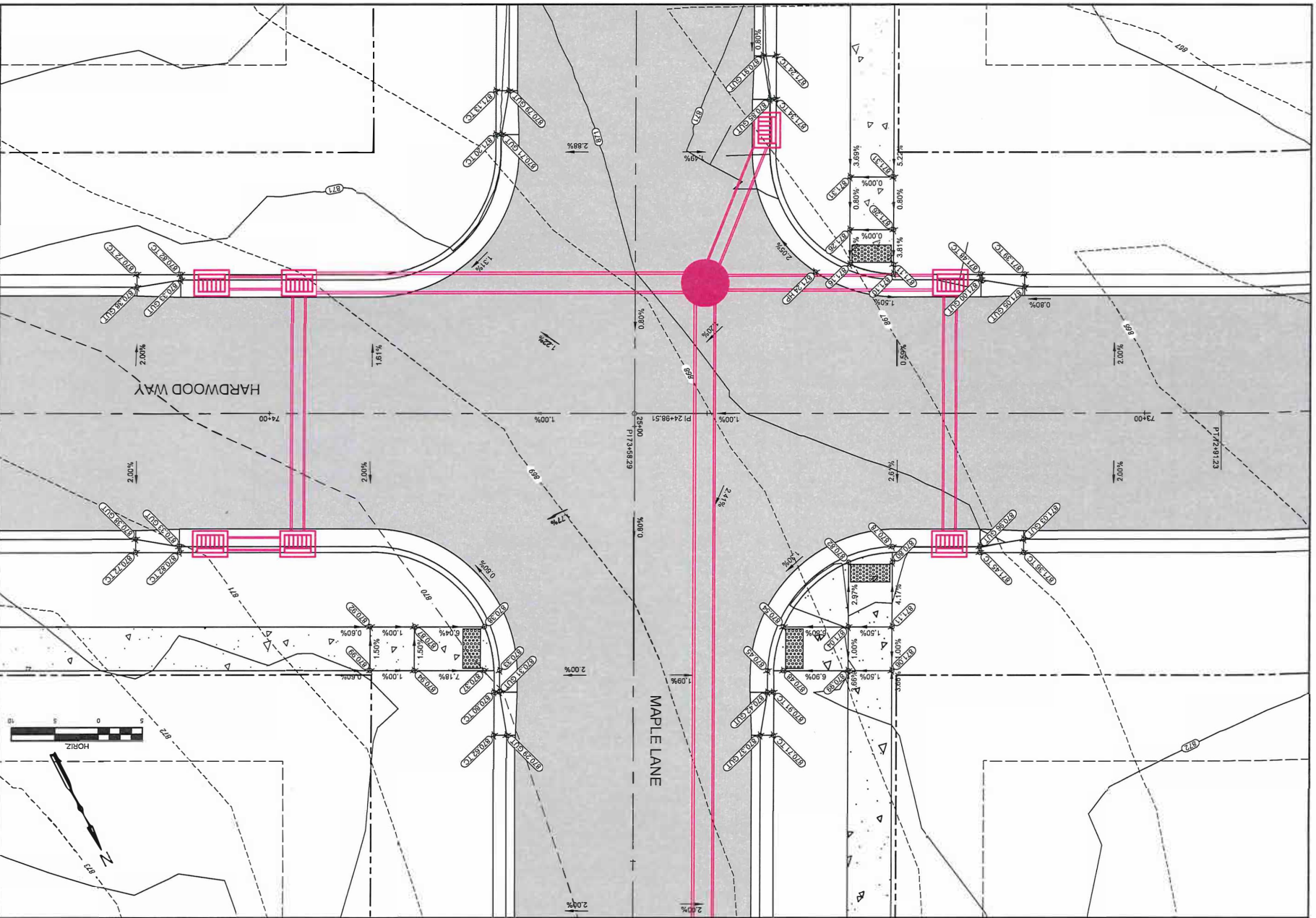


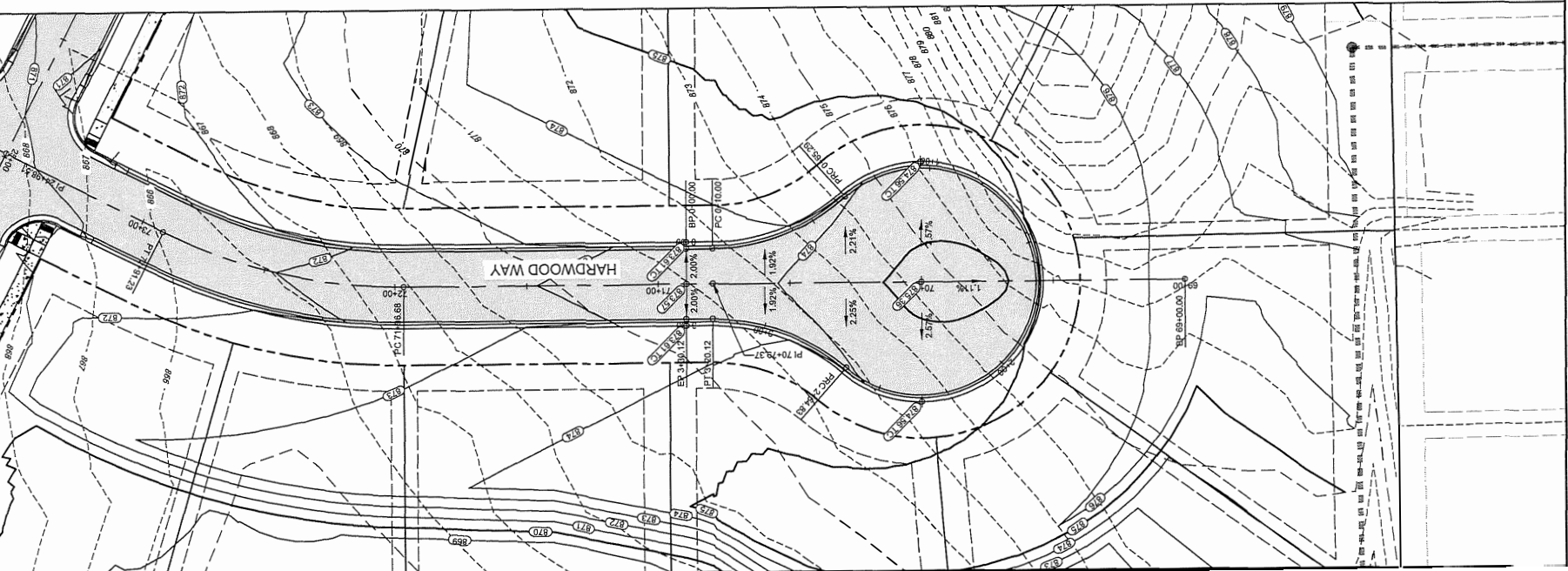
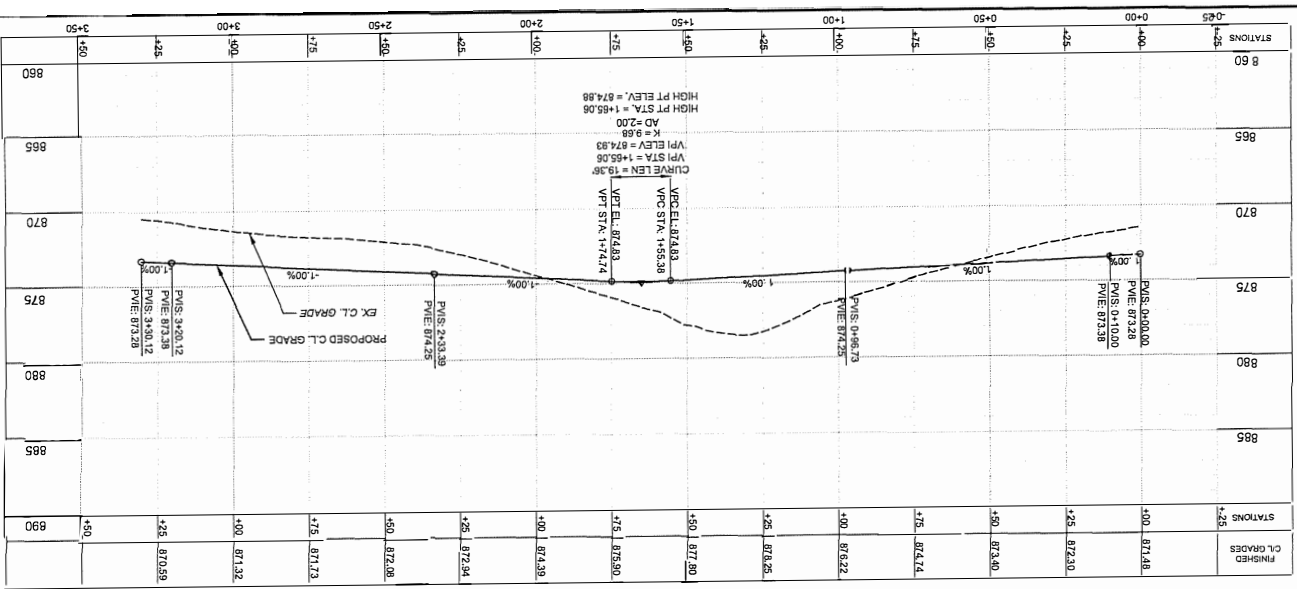
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HARDWOOD ESTATES THIRD SUBDIVISION
CANNON FALLS, MINNESOTA

CANNON FALLS, MINNESOTA
2025

2025

SHEET 13 OF 22

SCALE	AS SHOWN	WHKS PROJECT NO.	1D196	DRAWN BY:	KML	CHECKED BY:	jpp
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HARDWOOD WAY CURB PROFILE

HARDWOOD ESTATES THIRD SUBDIVISION
CANNON FALLS, MINNESOTA
2025

REVISIONS	
NO.	DESCRIPTION
	I hereby certify that this plan, specification or report was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
	<u>David A. Mabin</u>
Date	<u>February 19, 1971</u>

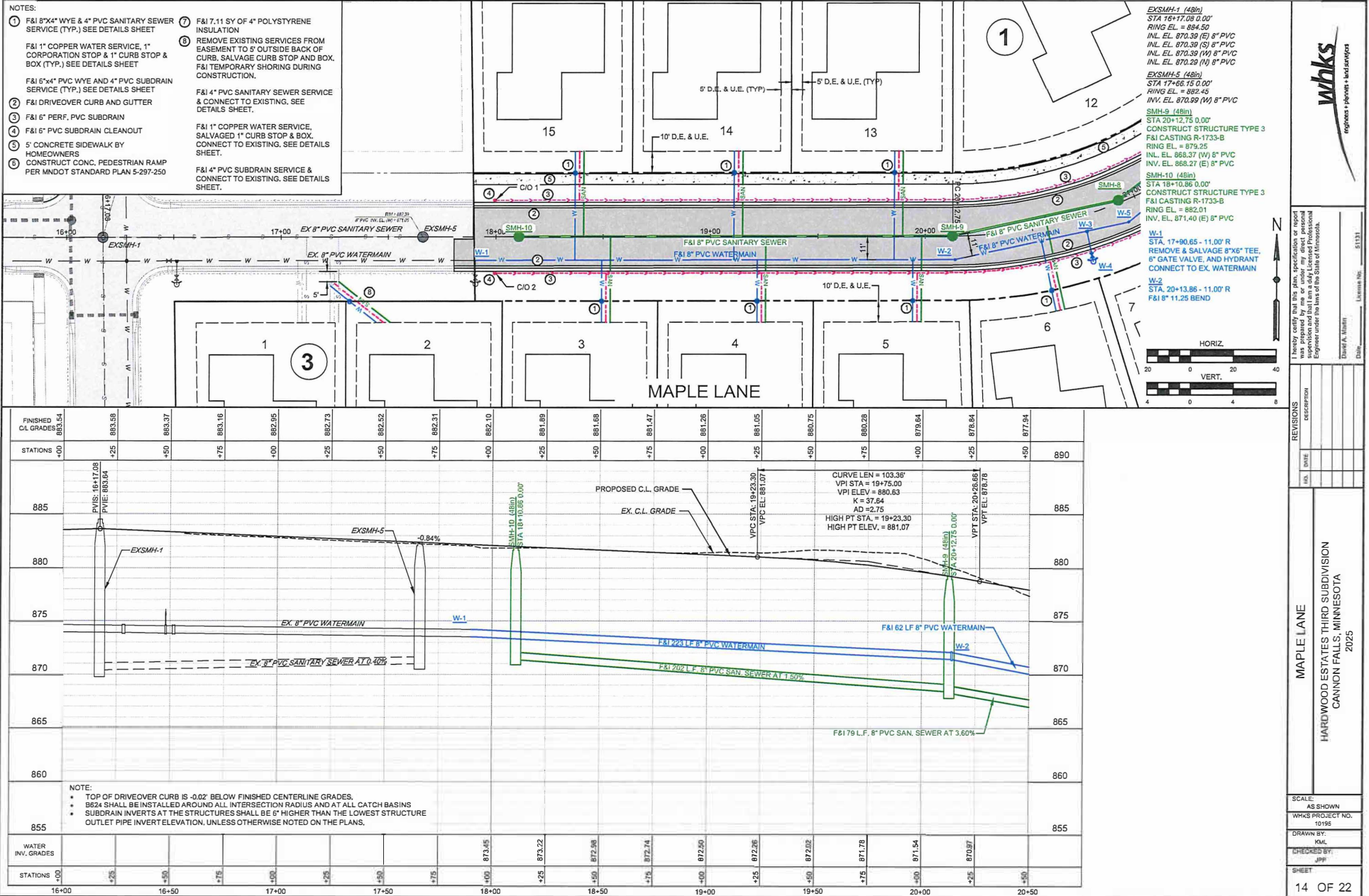
whks
engineers + planners + land surveyors

whks
engineers + planners + land surveyors

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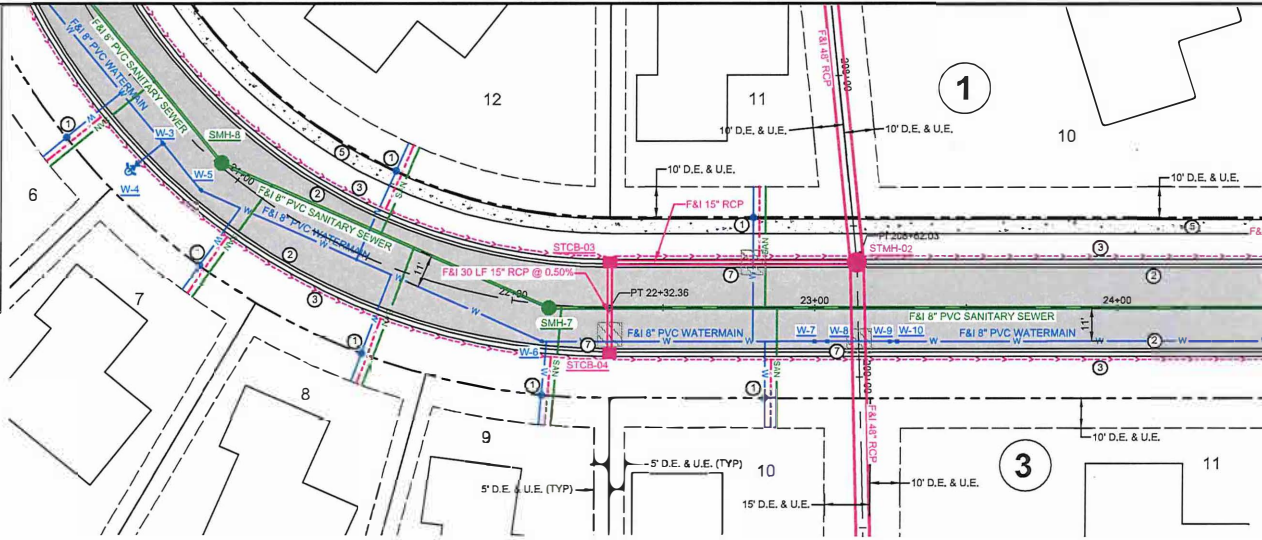
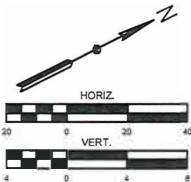
NOTES:

- ① F&I 8"x4" WYE & 4" PVC SANITARY SEWER SERVICE (TYP.) SEE DETAILS SHEET
- ② F&I 1" COPPER WATER SERVICE, 1" CORPORATION STOP & 1" CURB STOP & BOX (TYP.) SEE DETAILS SHEET
- ③ F&I 6"x4" PVC WYE AND 4" PVC SUBDRAIN SERVICE (TYP.) SEE DETAILS SHEET
- ④ F&I DRIVEOVER CURB AND GUTTER
- ⑤ F&I 6" PERF. PVC SUBDRAIN
- ⑥ F&I 6" PVC SUBDRAIN CLEANOUT
- ⑦ 5' CONCRETE SIDEWALK BY HOMEOWNERS
- ⑧ CONSTRUCT CONC. PEDESTRIAN RAMP PER MNDOT STANDARD PLAN 5-297-250
- ⑨ F&I 7.11 SY OF 4" POLYSTYRENE INSULATION
- ⑩ REMOVE EXISTING SERVICES FROM EASEMENT TO 5' OUTSIDE BACK OF CURB. SALVAGE CURB STOP AND BOX. F&I TEMPORARY SHORING DURING CONSTRUCTION.
- ⑪ F&I 4" PVC SANITARY SEWER SERVICE & CONNECT TO EXISTING. SEE DETAILS SHEET.
- ⑫ F&I 1" COPPER WATER SERVICE, SALVAGED 1" CURB STOP & BOX, CONNECT TO EXISTING. SEE DETAILS SHEET.
- ⑬ F&I 4" PVC SUBDRAIN SERVICE & CONNECT TO EXISTING. SEE DETAILS SHEET.

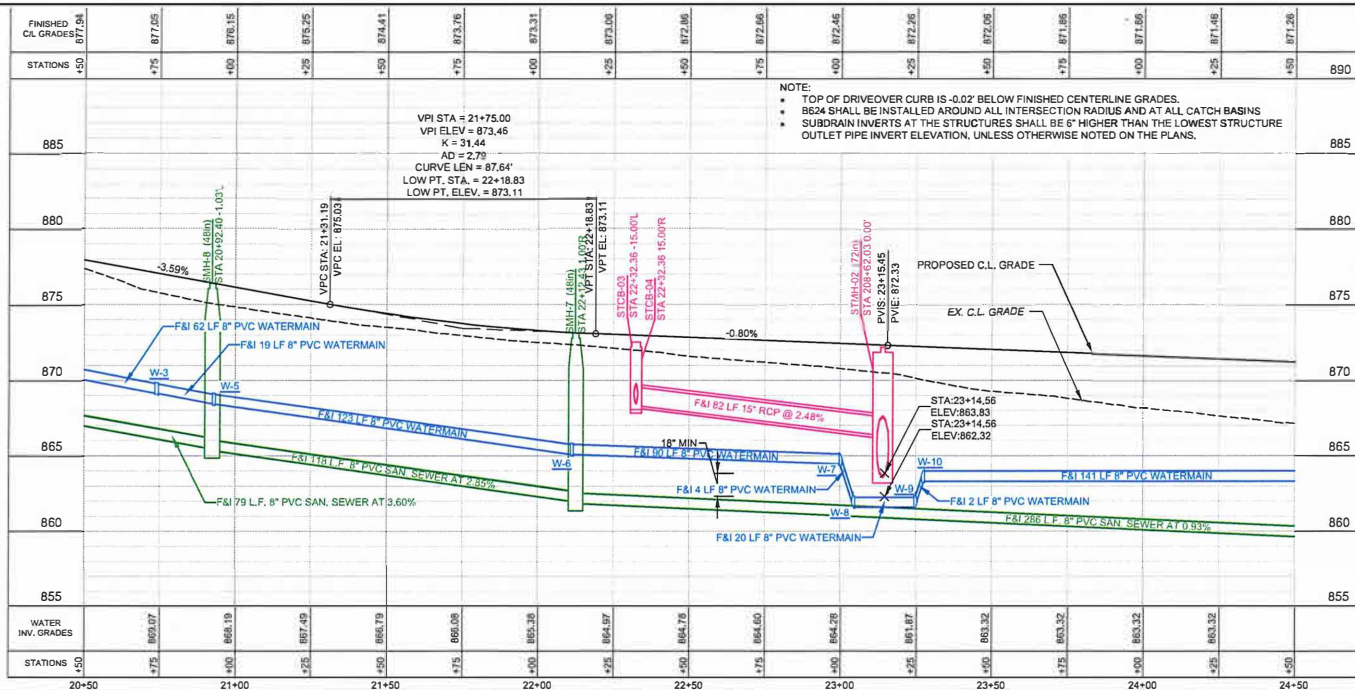


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- NOTES:
- F&I 8"x4" WYE & 4" PVC SANITARY SEWER SERVICE (TYP.) SEE DETAILS SHEET
 - F&I 1" COPPER WATER SERVICE, 1" CORPORATION STOP & 1" CURB STOP & BOX (TYP.) SEE DETAILS SHEET
 - F&I 6"x4" PVC WYE AND 4" PVC SUBDRAIN SERVICE (TYP.) SEE DETAILS SHEET
 - F&I DRIVEOVER CURB AND GUTTER
 - F&I 5" PERF. PVC SUBDRAIN
 - F&I 6" PVC SUBDRAIN CLEANDOUT
 - 5' CONCRETE SIDEWALK BY HOMEOWNERS
 - CONSTRUCT CONC. PEDESTRIAN RAMP PER MNDOT STANDARD PLAN 5-297-250
 - F&I 7:1 SY OF 4" POLYSTYRENE INSULATION



MAPLE LANE



- NOTE:
- TOP OF DRIVEOVER CURB IS -0.02' BELOW FINISHED CENTERLINE GRADES.
 - B624 SHALL BE INSTALLED AROUND ALL INTERSECTION RADIUS AND AT ALL CATCH BASINS
 - SUBDRAIN INVERTS AT THE STRUCTURES SHALL BE 6" HIGHER THAN THE LOWEST STRUCTURE OUTLET PIPE INVERT ELEVATION, UNLESS OTHERWISE NOTED ON THE PLANS.

- W-3
STA. 20+74.00 - 7.44' R
INSTALL SALVAGED 8"x6" TEE
FROM W-1
- W-4
STA. 20+72.76 - 22.00' R
F&I 6" HYDRANT
BREAK OFF EL. = 877.55
F&I 6" GATE VALVE & BOX
3' FROM HYDRANT
- W-5
STA. 20+92.92 - 10.27' R
F&I 8" 22.5 BEND
- W-6
STA. 22+11.28 - 12.18' R
F&I 8" 22.5 BEND
- W-7
STA. 23+00.04 - 11.00' R
F&I 8" 45 BEND
- W-8
STA. 23+04.27 - 11.00' R
F&I 8" 45 BEND
- W-9
STA. 23+24.85 - 11.00' R
F&I 8" 45 BEND
- W-10
STA. 23+27.32 - 11.00' R
F&I 8" 45 BEND

SMH-7 (48in)
STA 22+12.43 1.00'R
CONSTRUCT STRUCTURE TYPE 3
F&I CASTING R-1733-B
RING EL. = 873.15
INL. EL. 861.96 (SW) 8" PVC
INV. EL. 861.86 (NE) 8" PVC

SMH-8 (48in)
STA 20+92.40 - 1.03'L
CONSTRUCT STRUCTURE TYPE 3
F&I CASTING R-1733-B
RING EL. = 876.40
INL. EL. 865.43 (W) 8" PVC
INV. EL. 865.33 (NE) 8" PVC

STCB-03
STA 22+32.36 - 15.00'L
CONSTRUCT STRUCTURE TYPE 1
F&I R-3067-V GRATE
GRATE EL. = 872.54
INL. EL. 868.39 (SE) 15" RCP
INV. EL. 868.29 (NE) 15" RCP

STCB-04
STA 22+32.36 15.00'R
CONSTRUCT STRUCTURE TYPE 1
F&I R-3067-V GRATE
GRATE EL. = 872.54
INV. EL. 868.54 (NW) 15" RCP

STMH-02
STA 20+62.03 0.00'
CONSTRUCT STRUCTURE TYPE 4 (72in)
F&I R-1733-B CASTING
RING EL. = 872.19
INL. EL. 863.62 (SE) 48" RCP
INV. EL. 866.27 (SW) 15" RCP



I hereby certify that this plan, specification or report was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

David A. Whitcomb
Date: 4/8/2025 License No.: 91333

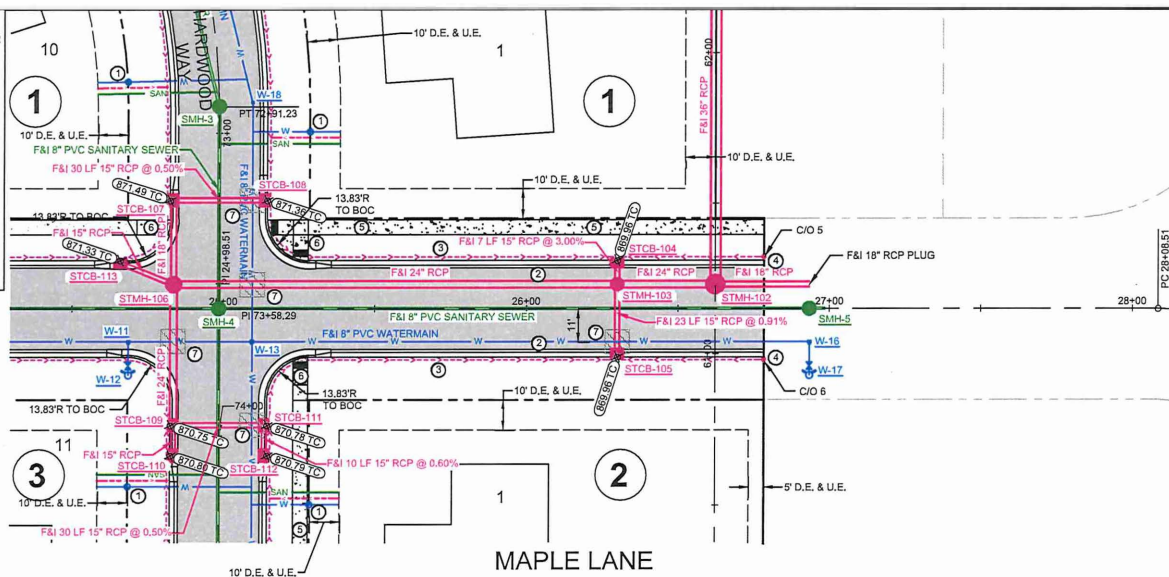
REVISIONS	
NO.	DATE

MAPLE LANE
HARDWOOD ESTATES THIRD SUBDIVISION
CANNON FALLS, MINNESOTA
2025

SCALE:
AS SHOWN
WHKS PROJECT NO.
10196
DRAWN BY:
PML
CHECKED BY:
JPP
SHEET

NOTES:

- 1 F&I 8"X4" WYE & 4" PVC SANITARY SEWER SERVICE (TYP.) SEE DETAILS SHEET
- 2 F&I 1" COPPER WATER SERVICE, 1" CORROSION STOP & 1" CURB STOP & BOX (TYP.) SEE DETAILS SHEET
- 3 F&I 6"X4" PVC WYE AND 4" PVC SUBDRAIN SERVICE (TYP.) SEE DETAILS SHEET
- 4 F&I DRIVEOVER CURB AND GUTTER
- 5 F&I 6" PERF. PVC SUBDRAIN
- 6 F&I 6" PVC SUBDRAIN CLEANOUT
- 7 5" CONCRETE SIDEWALK BY HOMEOWNERS
- 8 CONSTRUCT CONC. PEDESTRIAN RAMP PER MINDOT STANDARD PLAN 5-297-25D
- 9 F&I 7" 1/2" 4" POLYSTYRENE INSULATION



SMH-4 (48in)
STA 73+58.35 0.00 R
F&I CASTING R-1733-B
RING EL. = 870.79
INL. EL. 859.20 (SW) 8" PVC
INL. EL. 859.20 (SE) 8" PVC
INV. EL. 859.10 (NW) 8" PVC

SMH-5 (48in)
STA 76+93.51 0.00
F&I CASTING R-1733-B
RING EL. = 870.79
INL. EL. 860.08 (NE) 8" PVC
F&I 8" PVC CAP (NE)
INV. EL. 859.98 (SW) 8" PVC

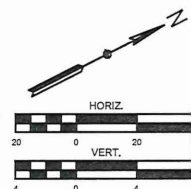
W-11
STA 24+68.67 - 11.00' R
F&I 8"X6" TEE

W-12
STA 24+68.67 - 22.00' R
F&I 6" HYDRANT
BREAK OFF EL. = 871.39
F&I 6" GATE VALVE & BOX
3' FROM HYDRANT

W-13
STA 25+09.51 - 11.00' R
F&I 8"X8" CROSS

W-16
STA 26+93.51 - 11.00' R
F&I 8"X6" TEE
F&I 8" PLUG (NE)

W-17
STA 26+93.51 - 22.00' R
F&I TEMPORARY 6" HYDRANT
BREAK OFF EL. = 871.44
F&I 6" GATE VALVE & BOX
3' FROM HYDRANT

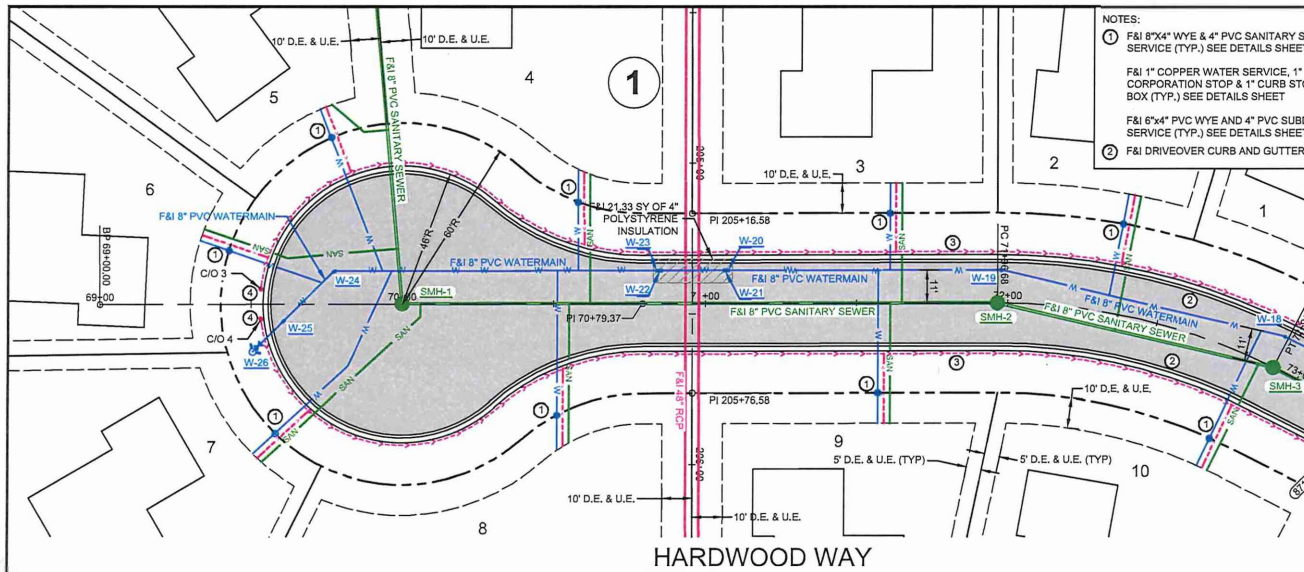


PROPOSED C.L. GRADE		871.26	871.06	870.86	870.66	870.46	870.26	870.06	869.86	869.66	869.46	869.26	869.06	868.86	868.66	868.46	868.26	868.06	867.86	867.66	867.46	867.26	867.06	866.86	866.66	866.46	866.26	866.06	865.86	865.66	865.46	865.26	865.06	864.86	864.66	864.46	864.26	864.06	863.86	863.66	863.46	863.26	863.06	862.86	862.66	862.46	862.26	862.06	861.86	861.66	861.46	861.26	861.06	860.86	860.66	860.46	860.26	860.06	859.86	859.66	859.46	859.26	859.06	858.86	858.66	858.46	858.26	858.06	857.86	857.66	857.46	857.26	857.06	856.86	856.66	856.46	856.26	856.06	855.86	855.66	855.46	855.26	855.06	854.86	854.66	854.46	854.26	854.06	853.86	853.66	853.46	853.26	853.06	852.86	852.66	852.46	852.26	852.06	851.86	851.66	851.46	851.26	851.06	850.86	850.66	850.46	850.26	850.06	849.86	849.66	849.46	849.26	849.06	848.86	848.66	848.46	848.26	848.06	847.86	847.66	847.46	847.26	847.06	846.86	846.66	846.46	846.26	846.06	845.86	845.66	845.46	845.26	845.06	844.86	844.66	844.46	844.26	844.06	843.86	843.66	843.46	843.26	843.06	842.86	842.66	842.46	842.26	842.06	841.86	841.66	841.46	841.26	841.06	840.86	840.66	840.46	840.26	840.06	839.86	839.66	839.46	839.26	839.06	838.86	838.66	838.46	838.26	838.06	837.86	837.66	837.46	837.26	837.06	836.86	836.66	836.46	836.26	836.06	835.86	835.66	835.46	835.26	835.06	834.86	834.66	834.46	834.26	834.06	833.86	833.66	833.46	833.26	833.06	832.86	832.66	832.46	832.26	832.06	831.86	831.66	831.46	831.26	831.06	830.86	830.66	830.46	830.26	830.06	829.86	829.66	829.46	829.26	829.06	828.86	828.66	828.46	828.26	828.06	827.86	827.66	827.46	827.26	827.06	826.86	826.66	826.46	826.26	826.06	825.86	825.66	825.46	825.26	825.06	824.86	824.66	824.46	824.26	824.06	823.86	823.66	823.46	823.26	823.06	822.86	822.66	822.46	822.26	822.06	821.86	821.66	821.46	821.26	821.06	820.86	820.66	820.46	820.26	820.06	819.86	819.66	819.46	819.26	819.06	818.86	818.66	818.46	818.26	818.06	817.86	817.66	817.46	817.26	817.06	816.86	816.66	816.46	816.26	816.06	815.86	815.66	815.46	815.26	815.06	814.86	814.66	814.46	814.26	814.06	813.86	813.66	813.46	813.26	813.06	812.86	812.66	812.46	812.26	812.06	811.86	811.66	811.46	811.26	811.06	810.86	810.66	810.46	810.26	810.06	809.86	809.66	809.46	809.26	809.06	808.86	808.66	808.46	808.26	808.06	807.86	807.66	807.46	807.26	807.06	806.86	806.66	806.46	806.26	806.06	805.86	805.66	805.46	805.26	805.06	804.86	804.66	804.46	804.26	804.06	803.86	803.66	803.46	803.26	803.06	802.86	802.66	802.46	802.26	802.06	801.86	801.66	801.46	801.26	801.06	800.86	800.66	800.46	800.26	800.06	799.86	799.66	799.46	799.26	799.06	798.86	798.66	798.46	798.26	798.06	797.86	797.66	797.46	797.26	797.06	796.86	796.66	796.46	796.26	796.06	795.86	795.66	795.46	795.26	795.06	794.86	794.66	794.46	794.26	794.06	793.86	793.66	793.46	793.26	793.06	792.86	792.66	792.46	792.26	792.06	791.86	791.66	791.46	791.26	791.06	790.86	790.66	790.46	790.26	790.06	789.86	789.66	789.46	789.26	789.06	788.86	788.66	788.46	788.26	788.06	787.86	787.66	787.46	787.26	787.06	786.86	786.66	786.46	786.26	786.06	785.86	785.66	785.46	785.26	785.06	784.86	784.66	784.46	784.26	784.06	783.86	783.66	783.46	783.26	783.06	782.86	782.66	782.46	782.26	782.06	781.86	781.66	781.46	781.26	781.06	780.86	780.66	780.46	780.26	780.06	779.86	779.66	779.46	779.26	779.06	778.86	778.66	778.46	778.26	778.06	777.86	777.66	777.46	777.26	777.06	776.86	776.66	776.46	776.26	776.06	775.86	775.66	775.46	775.26	775.06	774.86	774.66	774.46	774.26	774.06	773.86	773.66	773.46	773.26	773.06	772.86	772.66	772.46	772.26	772.06	771.86	771.66	771.46	771.26	771.06	770.86	770.66	770.46	770.26	770.06	769.86	769.66	769.46	769.26	769.06	768.86	768.66	768.46	768.26	768.06	767.86	767.66	767.46	767.26	767.06	766.86	766.66	766.46	766.26	766.06	765.86	765.66	765.46	765.26	765.06	764.86	764.66	764.46	764.26	764.06	763.86	763.66	763.46	763.26	763.06	762.86	762.66	762.46	762.26	762.06	761.86	761.66	761.46	761.26	761.06	760.86	760.66	760.46	760.26	760.06	759.86	759.66	759.46	759.26	759.06	758.86	758.66	758.46	758.26	758.06	757.86	757.66	757.46	757.26	757.06	756.86	756.66	756.46	756.26	756.06	755.86	755.66	755.46	755.26	755.06	754.86	754.66	754.46	754.26	754.06	753.86	753.66	753.46	753.26	753.06	752.86	752.66	752.46	752.26	752.06	751.86	751.66	751.46	751.26	751.06	750.86	750.66	750.46	750.26	750.06	749.86	749.66	749.46	749.26	749.06	748.86	748.66	748.46	748.26	748.06	747.86	747.66	747.46	747.26	747.06	746.86	746.66	746.46	746.26	746.06	745.86	745.66	745.46	745.26	745.06	744.86	744.66	744.46	744.26	744.06	743.86	743.66	743.46	743.26	743.06	742.86	742.66	742.46	742.26	742.06	741.86	741.66	741.46	741.26	741.06	740.86	740.66	740.46	740.26	740.06	739.86	739.66	739.46	739.26	739.06	738.86	738.66	738.46	738.26	738.06	737.86	737.66	737.46	737.26	737.06	736.86	736.66	736.46	736.26	736.06	735.86	735.66	735.46	735.26	735.06	734.86	734.66	734.46	734.26	734.06	733.86	733.66	733.46	733.26	733.06	732.86	732.66	732.46	732.26	732.06	731.86	731.66	731.46	731.26	731.06	730.86	730.66	730.46	730.26	730.06	729.86	729.66	729.46	729.26	729.06	728.86	728.66	728.46	728.26	728.06	727.86	727.66	727.46	727.26	727.06	726.86	726.66	726.46	726.26	726.06	725.86	725.66	725.46	725.26	725.06	724.86	724.66	724.46	724.26	724.06	723.86	723.66	723.46	723.26	723.06	722.86	722.66	722.46	722.26	722.06	721.86	721.66	721.46	721.26	721.06	720.86	720.66	720.46	720.26	720.06	719.86	719.66	719.46	719.26	719.06	718.86	718.66	718.46	718.26	718.06	717.86	717.66	717.46	717.26	717.06	716.86	716.66	716.46	716.26	716.06	715.86	715.66	715.46	715.26	715.06	714.86	714.66	714.46	714.26	714.06	713.86	713.66	713.46	713.26	713.06	712.86	712.66	712.46	712.26	712.06	711.86	711.66	711.46	711.26	711.06	710.86	710.66	710.46	710.26	710.06	709.86	709.66	709.46	709.26	709.06	708.86	708.66	708.46	708.26	708.06	707.86	707.66	707.46	707.26	707.06	706.86	706.66	706.46	706.26	706.06	705.86	705.66	705.46	705.26	705.06	704.86	704.66	704.46	704.26	704.06	703.86	703.66	703.46	703.26	703.06	702.86	702.66	702.46	702.26	702.06	701.86	701.66	701.46	701.26	701.06	700.86	700.66	700.46	700.26	700.06	699.86	699.66	699.46	699.26	699.06	698.86	698.66	698.46	698.26	698.06	697.86	697.66	697.46	697.26	697.06	696.86	696.66	696.46	696.26	696.06	695.86	695.66	695.46	695.26	695.06	694.86	694.66	694.46	694.26	694.06	693.86	693.66	693.46	693.26	693.06	692.86	692.66	692.46	692.26	692.06	691.86	691.66	691.46	691.26	691.06	690.86	690.66	690.46	690.26	690.06	689.86	689.66	689.46	689.26	689.06	688.86	688.66	688.46	688.26	688.06	687.86	687.66	687.46	687.26	687.06	686.86	686.66	686.46	686.26	686.06	685.86	685.66	685.46	685.26	685.06	684.86	684.66	684.46	684.26	684.06	683.86	683.66	683.46	683.26	683.06	682.86	682.66	682.46	682.26	682.06	681.86	681.66	681.46	681.26	681.06	680.86	680.66	680.46	680.26	680.06	679.86	679.66	679.46	679.26	679.06	678.86	678.66	678.46	678.26	678.06	677.86	677.66	677.46	677.26	677.06	676.86	676.66	676.46	676.26	676.06	675.86	675.66	675.46	675.26	675.06	674.86	674.66	674.46	674.26	674.06	673.86	673.66	673.46	673.26	673.06	672.86	672.66	672.46	672.26	672.06	671.86	671.66	671.46	671.26	671.06	670.86	670.66	670.46	670.26	670.06	669.86	669.66	669.46	669.26	669.06	668.86	668.66	668.46	668.26	668.06	667.86	667.66	667.46	667.26	667.06	666.86	666.66	666.46	666.26	666.06	665.86	665.66	665.46	665.26	665.06	664.86	664.66	664.46	664.26	664.06	663.86	663.66	663.46	663.26	663.06	662.86	662.66	662.46	662.26	662.06	661.86	661.66	661.46	661.26	661.06	660.86	660.66	660.46	660.26	660.06	659.86	659.66	659.46	659.26	659.06	658.86	658.66	658.46	658.26	658.06	657.86	657.66	657.46	657.26	657.06	656.86	656.66	656.46	656.26	656.06	655.86	655.66	655.46	655.26	655.06	654.86	654.66	654.46	654.26	654.06	653.86	653.66	653.46	653.26	653.06	652.86	652.66	652.46	652.26	652.06	651.86	651.66	651.46	651.26	651.06	650.86	650.66	650.46	650.26	650.06	649.86	649.66	649.46	649.26	649.06	648.86	648.66	648.46	648.26	648.06	647.86	647.66	647.46	647.26	647.06	646.86	646.66
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NOTE:

- TOP OF DRIVEOVER CURB IS -0.02' BELOW FINISHED CENTERLINE GRADES.
- B624 SHALL BE INSTALLED AROUND ALL INTERSECTION RADIUS AND AT ALL CATCH BASINS
- SUBDRAIN INVERTS AT THE STRUCTURES SHALL BE 6" HIGHER THAN THE LOWEST STRUCTURE OUTLET PIPE INVERT ELEVATION, UNLESS OTHERWISE NOTED ON THE PLANS.

SCALE		I hereby certify that this plan, specification or report was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota. Date _____ License No. _____ Daniel A. Morde
REVISIONS		
NO.	DATE DESCRIPTION	
MAPLE LANE HARDWOOD ESTATES THIRD SUBDIVISION CANNON FALLS, MINNESOTA 2025		
DRAWN BY:		
CHECKED BY:		
SHEET		

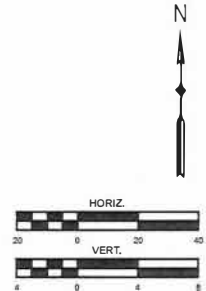


- NOTES:
- ① F&I 8"x4" WYE & 4" PVC SANITARY SEWER SERVICE (TYP.) SEE DETAILS SHEET
 - ② F&I 6" PERF. PVC SUBDRAIN
 - ③ F&I 6" PVC SUBDRAIN CLEANOUT
 - ④ F&I 1" COPPER WATER SERVICE, 1" CORPORATION STOP & 1" CURB STOP & BOX (TYP.) SEE DETAILS SHEET
 - ⑤ 5' CONCRETE SIDEWALK BY HOMEOWNERS
 - ⑥ CONSTRUCT CONC. PEDESTRIAN RAMP PER MNDOT STANDARD PLAN 5-297-250
 - ⑦ F&I 7.11 SY OF 4" POLYSTYRENE INSULATION
 - ⑧ F&I 6"x4" PVC WYE AND 4" PVC SUBDRAIN SERVICE (TYP.) SEE DETAILS SHEET
 - ⑨ F&I DRIVEOVER CURB AND GUTTER

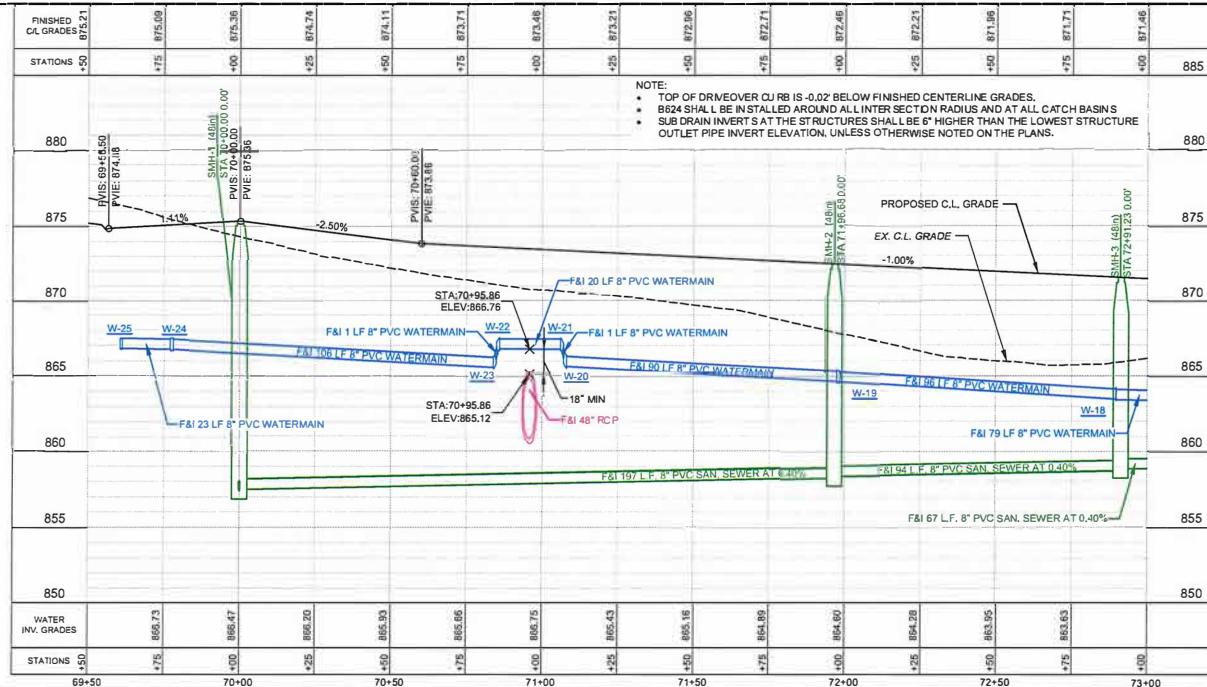
SMH-1 (48in)
STA 70+00.00 0.00'
CONSTRUCT STRUCTURE TYPE 3
F&I CASTING R-1733-B
RING EL. = 875.36
INL. EL. 857.47 (E) 8" PVC
INV. EL. 857.37 (N) 8" PVC

SMH-2 (48in)
STA 71+96.68 0.00'
CONSTRUCT STRUCTURE TYPE 3
F&I CASTING R-1733-B
RING EL. = 872.49
INL. EL. 858.36 (E) 8" PVC
INV. EL. 858.26 (W) 8" PVC

SMH-3 (48in)
STA 72+19.23 0.00'
CONSTRUCT STRUCTURE TYPE 3
F&I CASTING R-1733-B
RING EL. = 871.54
INL. EL. 858.83 (SE) 8" PVC
INV. EL. 858.73 (W) 8" PVC



HARDWOOD WAY



W-18
STA 72+89.99 - 11.00' L
F&I 8" 11.25 BEND

W-19
STA 71+97.92 - 11.00' L
F&I 8" 22.5 BEND

W-20
STA 71+07.46 - 11.00' L
F&I 8" 45 BEND

W-21
STA 71+06.36 - 11.00' L
F&I 8" 45 BEND

W-22
STA 70+85.44 - 11.00' L
F&I 8" 45 BEND

W-23
STA 70+84.23 - 11.00' L
F&I 8" 45 BEND

W-24
STA 69+77.50 - 11.00' L
F&I 8" 45 BEND

W-25
STA 69+60.84 - 5.69' R
F&I 8"x6" REDUCER

W-26
STA 69+50.53 - 16.02' R
F&I 6" HYDRANT
BREAK OFF EL. = 875.42
F&I 6" GATE VALVE & BOX
3' FROM HYDRANT



I hereby certify that this plan, specification or report was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

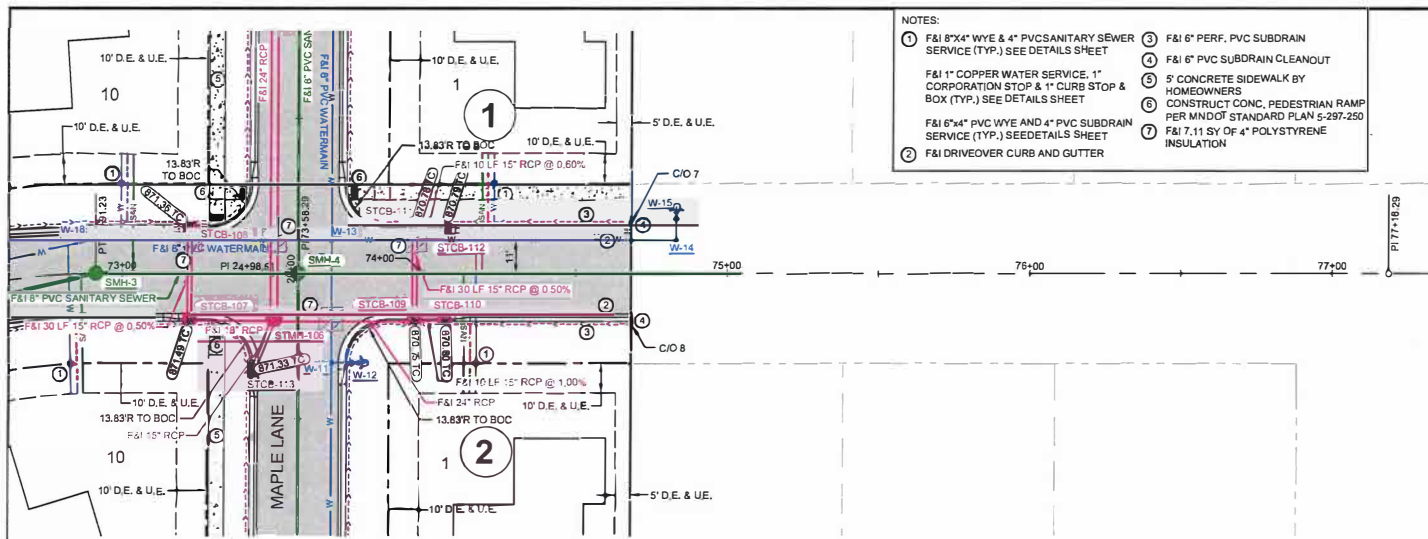
Daniel A. Martin License No. 91138

REVISIONS	DATE	DESCRIPTION

HARDWOOD WAY
HARDWOOD ESTATES THIRD SUBDIVISION
CANNON FALLS, MINNESOTA
2025

SCALE:
AS SHOWN
WHKS PROJECT NO.
10196
DRAWN BY:
KAL
CHECKED BY:
JPP

FILE PATH: c:\bentley\dwg\10198\UTILITIES.dwg PLOT DATE: 4/8/2025 4:05 PM



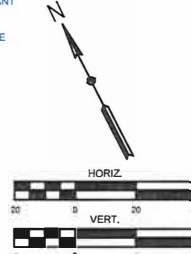
- NOTES:
- F&I 8"x4" WYE & 4" PVC SANITARY SEWER SERVICE (TYP.) SEE DETAILS SHEET
 - F&I 1" COPPER WATER SERVICE, 1" CORPORATION STOP & 1" CURB STOP & BOX (TYP.) SEE DETAILS SHEET
 - F&I 6"x4" PVC WYE AND 4" PVC SUBDRAIN SERVICE (TYP.) SEE DETAILS SHEET
 - F&I DRIVEOVER CURB AND GUTTER
 - F&I 6" PERF. PVC SUBDRAIN
 - F&I 6" PVC SUBDRAIN CLEANOUT
 - 5' CONCRETE SIDEWALK BY HOMEOWNERS
 - CONSTRUCT CONC. PEDESTRIAN RAMP PER MNDOT STANDARD PLAN 5-297-250
 - F&I 7.11 SY OF 4" POLYSTYRENE INSULATION

SMH-4 (48in)
STA 73+58.29 0.00'R
CONSTRUCT STRUCTURE TYPE 3
F&I CASTING R-1733-B
RING EL. = 870.87
INL. EL. 859.20 (SW) 8" PVC
INL. EL. 859.20 (SE) 8" PVC
INL. EL. 859.20 (NE) 8" PVC
INV. EL. 859.10 (NW) 8" PVC

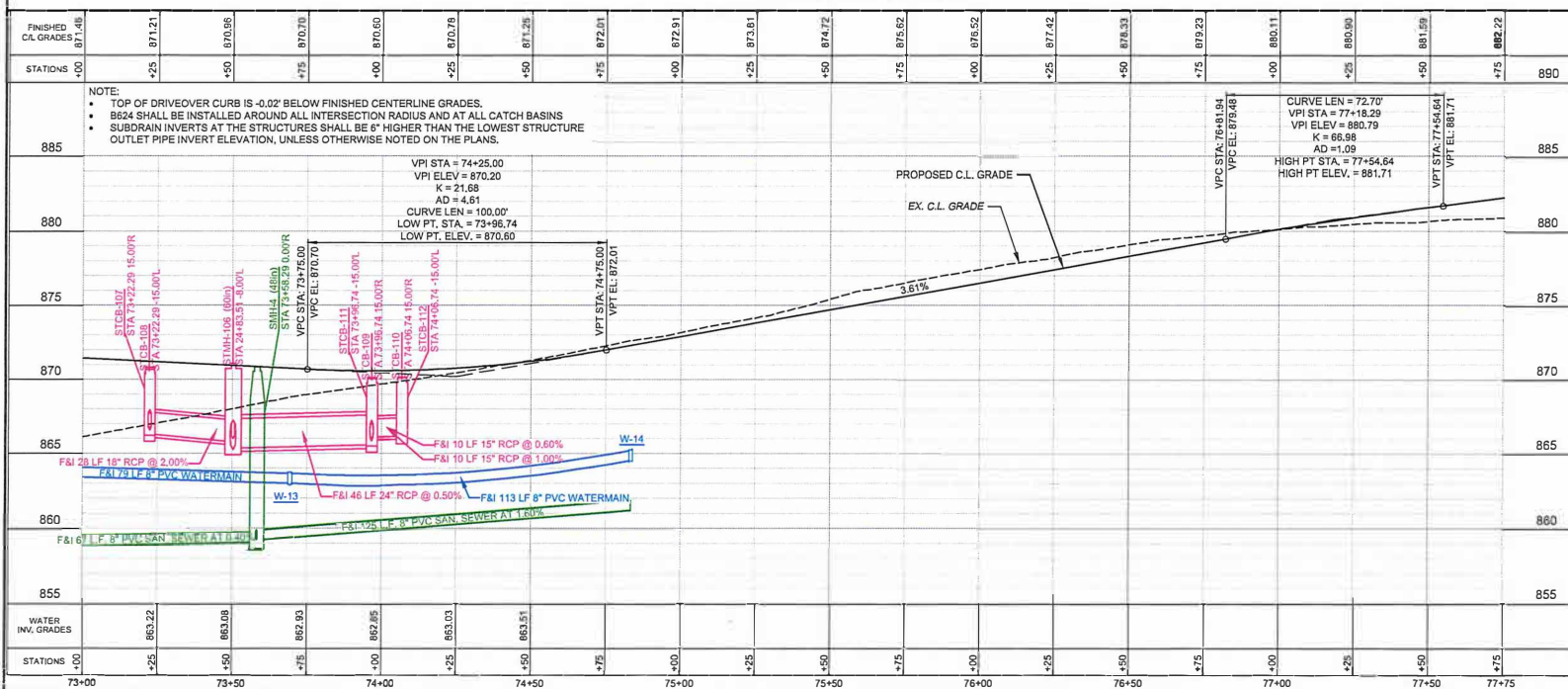
W-13
STA 73+09.51 - 11.00' R
F&I 8"x8" CROSS

W-14
STA 74+83.29 - 11.00' L
F&I 8"x6" TEE
F&I 8" PLUG (SE)

W-15
STA 74+83.29 - 22.00' L
INSTALL SALVAGED HYDRANT
FROM W-1
BREAK OFF EL. = 873.27
INSTALL SALVAGED 6" GATE
VALVE & BOX FROM W-1
3' FROM HYDRANT



HARDWOOD WAY



STCB-107
STA 73+22.29 15.00'R
CONSTRUCT STRUCTURE TYPE 1
F&I R-3067-V GRATE
GRATE EL. = 870.82
INL. EL. 866.54 (NE) 15" RCP
INV. EL. 866.29 (SE) 18" RCP

STMH-105
STA 74+83.51 -8.00'L
CONSTRUCT STRUCTURE TYPE 4 (60")
F&I R-1733-B CASTING
RING EL. = 871.07
INL. EL. 865.33 (SE) 24" RCP
INL. EL. 865.73 (NW) 18" RCP
INL. EL. 865.98 (SW) 15" RCP
INV. EL. 865.23 (NE) 24" RCP

STCB-108
STA 73+22.29 -15.00'L
CONSTRUCT STRUCTURE TYPE 1
F&I R-3067-V GRATE
GRATE EL. = 870.69
INV. EL. 866.69 (SW) 15" RCP

STCB-109
STA 73+96.74 15.00'R
CONSTRUCT STRUCTURE TYPE 1
F&I R-3067-V GRATE
GRATE EL. = 870.08
INL. EL. 866.04 (SE) 15" RCP
INL. EL. 865.82 (NE) 15" RCP
INV. EL. 866.56 (NW) 24" RCP

STCB-110
STA 74+06.74 15.00'R
CONSTRUCT STRUCTURE TYPE 1
F&I R-3067-V GRATE
GRATE EL. = 870.14
INV. EL. 866.14 (NW) 15" RCP

STCB-111
STA 73+96.74 -15.00'L
CONSTRUCT STRUCTURE TYPE 1
F&I R-3067-V GRATE
GRATE EL. = 870.11
INL. EL. 866.07 (SE) 15" RCP
INV. EL. 865.97 (SW) 15" RCP

STCB-112
STA 74+06.74 -15.00'L
CONSTRUCT STRUCTURE TYPE 1
F&I R-3067-V GRATE
GRATE EL. = 870.13
INV. EL. 866.13 (NW) 15" RCP



engineers • planners • landscape architects

I hereby certify that this plan, specification or report was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

David A. Hinkle
Date _____ License No. 81338

REVISIONS

NO.	DATE	DESCRIPTION

HARDWOOD WAY

HARDWOOD ESTATES THIRD SUBDIVISION
CANNON FALLS, MINNESOTA
2025

SCALE:
AS SHOWN

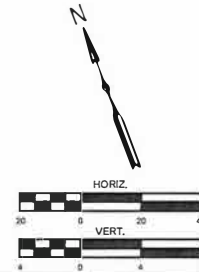
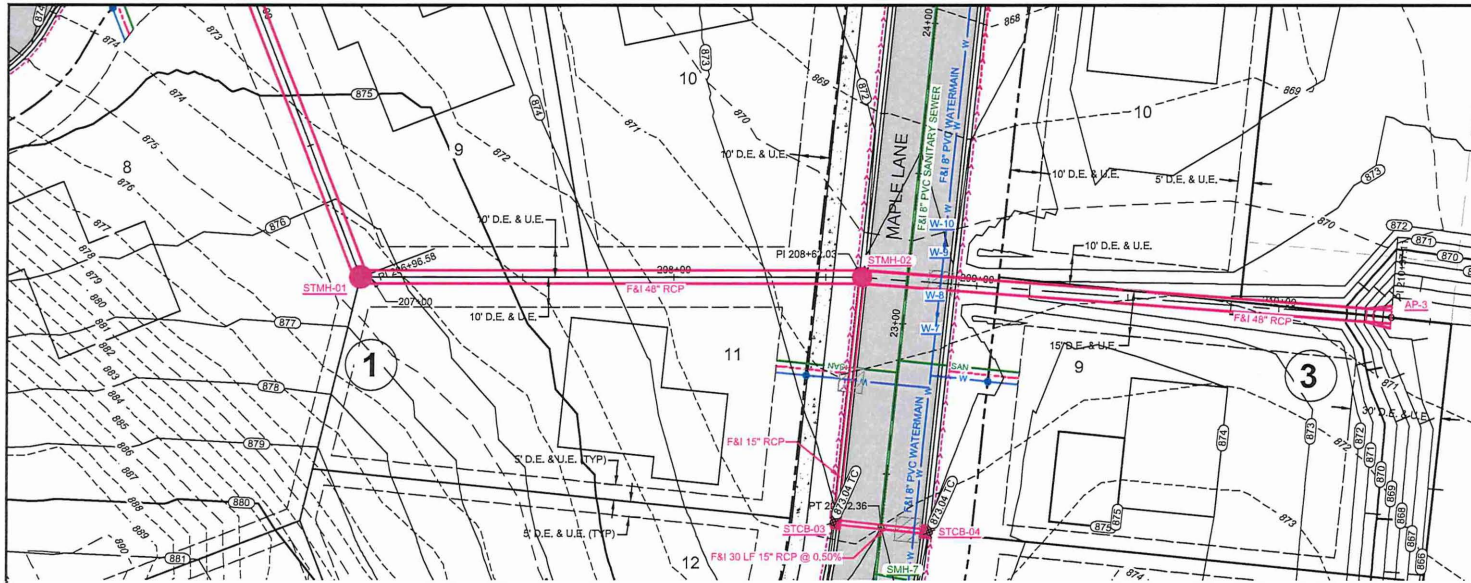
WHKS PROJECT NO.
10198

DRAWN BY:
JML

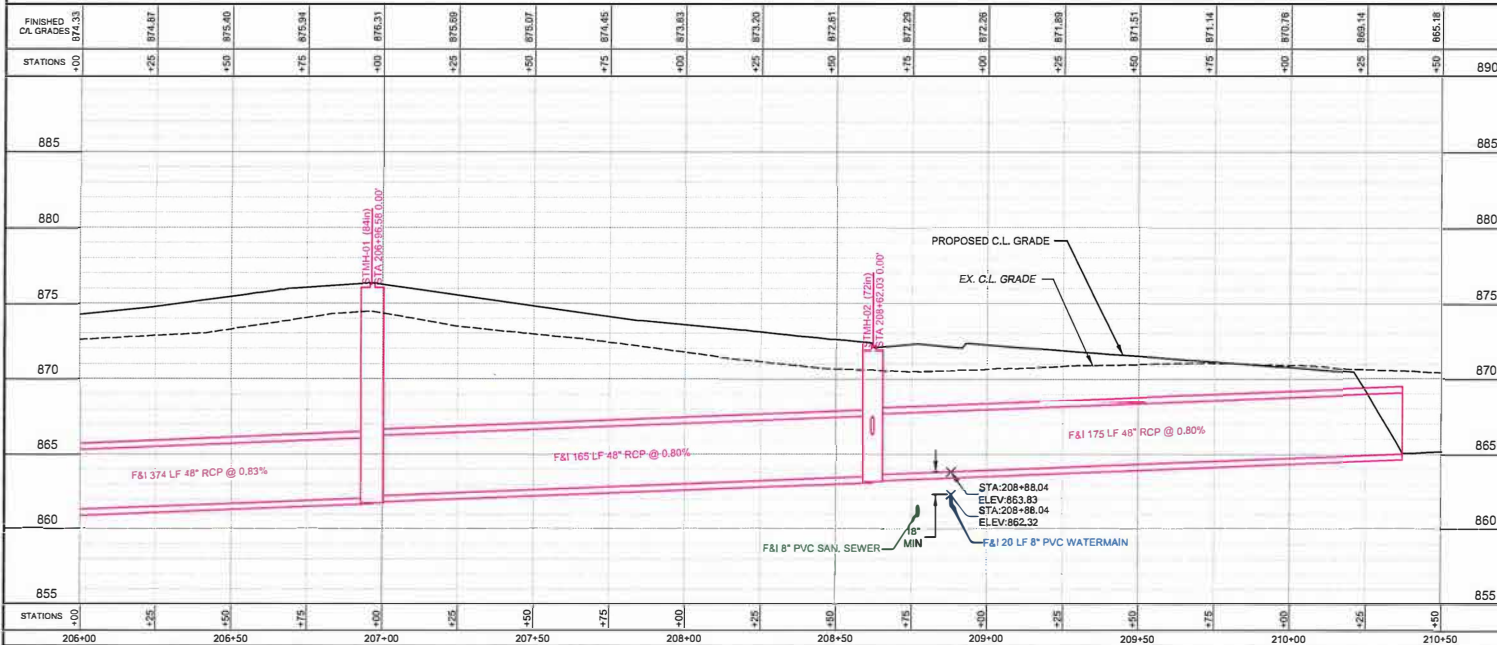
CHECKED BY:
JPP

SHEET
18 OF 22

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SWALE OUTLET TO POND



STMH-01
STA 206+96.58 0.00'
CONSTRUCT STRUCTURE TYPE 4 (84in)
F&I R-1733-B CASTING
RING EL. = 876.40
INL. EL. 862.20 (E) 48" RCP
INV. EL. 862.10 (N) 48" RCP

STMH-02
STA 208+62.03 0.00'
CONSTRUCT STRUCTURE TYPE 4 (72in)
F&I R-1733-B CASTING
RING EL. = 872.19
INL. EL. 863.62 (SE) 48" RCP
INL. EL. 866.27 (SW) 15" RCP
INV. EL. 863.52 (W) 48" RCP

AP-3
STA 209+18.51 160.00'
CONSTRUCT 48" RCP APRON
INV. EL. 865.02



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REVISIONS	
NO.	DATE

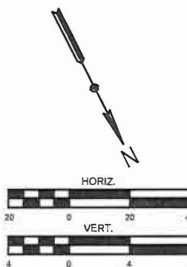
SWALE OUTLET TO POND

HARDWOOD ESTATES THIRD SUBDIVISION
CANNON FALLS, MINNESOTA
2025

SCALE:	AS SHOWN
WHKS PROJECT NO.	10196
DRAWN BY:	KHL
CHECKED BY:	JPP
SHEET	20 OF 22

I hereby certify that this plan, specification or report was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

David A. Mullis
Date: _____ License No. 31131

wbks
engineers + planners + land surveyors

I hereby certify that this plan, specification or report was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

David A. Martin
Date _____ License No. 51131

[illegible]

STORM OUTLET TO POND

HARDWOOD ESTATES THIRD SUBDIVISION
CANNON FALLS, MINNESOTA

2025

SCALE:
AS SHOWN

AS SHOWN
WHS PROJECT NO.

10196
DRAWN BY:

KML

CHECKED BY:
JPP

SHEET

21 OF 22



**CITY OF CANNON FALLS
GOODHUE COUNTY, MINNESOTA**

**PLANNING COMMISSION RESOLUTION 2025-03
Hardwood Estates Third Subdivision
Preliminary Plat & PUD**

WHEREAS, Cannon Falls EDA has made an application for a Preliminary Plat & PUD for Hardwood Estates Third Subdivision, and

WHEREAS, approval is needed to proceed with the platting of the proposed lots; and

WHEREAS, the Planning Commission conducted a hearing on May 12th, 2025 to accept testimony relating to the application; and

WHEREAS, the Planning Commission finds the granting of the Preliminary Plat & PUD, in harmony with the general purposes and intent of the Zoning Ordinance, and in conformance with the City of Cannon Falls Comprehensive Plan.

WHEREAS, The Cannon Falls Planning Commission hereby recommends to the Cannon Falls City Council that the application for the Preliminary Plat & PUD be approved.

NOW THEREFORE, LET IT BE RESOLVED BY THE CITY OF CANNON FALLS, GOODHUE COUNTY, MINNESOTA, that based on the findings of the Planning Commission which hereby recommends adoption by the City Council that the Preliminary Plat & PUD be approved.

ADOPTED by the Planning Commission of Cannon Falls this 12th day of May, 2025.

CITY OF CANNON FALLS

Planning Commission Chair

ATTEST: _____
Jon Radermacher, City Administrator

**CITY OF CANNON FALLS
GOODHUE COUNTY, MINNESOTA**

RESOLUTION NUMBER 2813

**PRELIMINARY PLAT AND PUD PLAN FOR
HARDWOOD ESTATES SECOND SUBDIVISION**

WHEREAS, the Cannon Falls Economic Development Authority (“**Developer**”) owns and intends to continue the development of a parcel or parcels of land lying within the City and legally described on the attached **Exhibit A** (the “**Property**”);

WHEREAS, the Property is part of the existing Hardwood Estates Plat attached hereto as **Exhibit B 1-6**;

WHEREAS, on May 12, 2025, the Planning Commission held a public hearing recommending conditional approval of the Developer’s Preliminary Plat for a residential development attached hereto with related plans as **Exhibit C 1-5** (the “**Preliminary Plat**”), and Developer’s Planned Unit Development (“**PUD**”) plan attached hereto as **Exhibit D** (the “**PUD Plan**”); and

WHEREAS, the City staff studied the matter, made a report, and provided other information to the Planning Commission and City Council; and

WHEREAS, the City Council considered the matter at its May 20, 2025 meeting.

NOW, THEREFORE, based upon the Preliminary Plat, PUD Plan, public testimony, and all project information presented and considered, the Planning Commission hereby finds:

FINDINGS

1. The Developer is requesting the Preliminary plat and PUD plan approval for the Hardwood Estates Third Subdivision (the “**Project**”).
2. Minn. Stat. § 462.357 grants to the City, for the purpose of promoting the public health, safety, morals and general welfare, the authority to regulate use of land within the City through zoning regulations.
3. The proposed subdivision of Property is governed by City Code Chapter 151.
4. The Developer, pursuant to City Code Chapter 151, has submitted the Preliminary Plat and related plans in Exhibit B for the Planning Commission’s review and approval.
5. The Preliminary Plat is not a premature subdivision as defined by City Code § 151.025, meets the City Code requirements, and satisfies applicable performance standards set

forth in City Code Chapter 151, provided that the Preliminary Plat is subject to and meets, to the satisfaction of the City, the conditions set forth in this Resolution.

6. City Code § 152.153(H)(4) states:

Optional submission of development stage plan. In cases of single stage PUDs or where the applicant wishes to begin the first stage of a multiple stage PUD immediately, the applicant may, at his or her option, submit development stage plans for the proposed PUD simultaneously with the submission of the general concept plan. In that case, the applicant shall comply with all provisions of the ordinance applicable to submission of the development stage plan. The Planning Commission and City Council shall consider the plans simultaneously and shall grant or deny development stage plan approval in accordance with the provisions of this chapter.

7. The Developer, pursuant to City Code §§ 152.153(A), (H) and (I), submitted the PUD Plan for the Planning Commission's review and consideration.

8. The PUD Plan meets the City Code requirements, provided that it is subject to and meets, to the satisfaction of the City, the conditions set forth in this Resolution.

DECISION

NOW, THEREFORE BE IT RESOLVED by the City Council for the City of Cannon Falls that, based upon the findings cited herein:

1. The Developer's Preliminary Plat is approved, subject to the conditions set forth in Section 3 below that must be met, to the satisfaction of the City, prior to or simultaneously with final plat approval.

2. The Developer's PUD Plan is approved, subject to the conditions set forth in Section 3 below that must be met, to the satisfaction of the City, prior to or simultaneously with final plat approval.

3. The following conditions must be met to the satisfaction of the City prior to or simultaneously with final plat approval:

(a) The Developer shall submit, for the City's review and consideration, information demonstrating that the PUD complies with all of the general requirements and standards for a planned unit development set forth in City Code § 152.152;

(b) The Preliminary Plat, final plat, PUD Plan and final plans for the PUD are subject to review and approval of the City Engineer;

(c) The Hardwood Estates Third Subdivision final plans for the PUD and the final plat shall be consistent with each other;

(d) The Developer shall submit, for the City's review and consideration, all information required under City Code Ch. 151 for the City Council's consideration of the Hardwood Estates Third Subdivision final plat;

(e) City Council approval of the Developer's final plan for the PUD and Project;

(f) City Council approval of the Hardwood Estates Third Subdivision final plat and Project;

(g) The Developer shall comply with the recommendations of the City Engineer;

(h) The conditional approvals granted by this Resolution are subject to the completion of and compliance with all ministerial matters set forth in the City Code and required by the City, including but not limited to, those of Engineering, Planning, Administrative and Legal Departments, *eg.* payment of fees;

(i) The conditional approvals granted by this Resolution apply only to the Property;

(j) Any signage on the Property is not part of the approvals granted by this Resolution and a separate application, subject to review and approval by the City, shall be required;

(k) All construction on and maintenance of the Property shall comply, at all times, with this Resolution, the PUD Plan, the final plat, and City Code;

(l) The Developer's satisfaction of all park dedication requirements for the Project prior to the City's release of the final plat; and

(m) Unless otherwise expressly provided for by this Resolution, the Developer shall comply with the requirements of previous approvals for the Property within the timeframes set forth therein.

ADOPTED by the City Council this 20th day of May 2025.

Matt Montgomery, Mayor

ATTEST: _

Jon Radermacher, City Administrator

EXHIBIT A

Legal Description of Property

That part of Outlot B of HARDWOOD ESTATES SECOND, described as follows: Beginning at the southwest corner of said Outlot B; thence North 00 degrees 07 minutes 34 seconds West, (Note: All bearings are in relationship with the Goodhue County Coordinate System NAD '83, Adjusted 1996), along the east line of Block 3 of HARDWOOD ESTATES SECOND, 153.00 feet to the south right-of-way line of Maple Lane; thence North 89 degrees 52 minutes 26 seconds East, along said south right-of-way line, 15.88 feet; thence North 00 degrees 55 minutes 43 seconds West, along the east line of Block 2 of HARDWOOD ESTATES SECOND and Block 1 of HARDWOOD ESTATES, 560.56 feet; thence North 70 degrees 52 minutes 17 seconds East, along the south line of Outlot A of HARDWOOD ESTATES SECOND, 175.71 feet; thence South 84 degrees 01 minutes 20 seconds East, along said south line, 213.63 feet; thence South 87 degrees 07 minutes 55 seconds East, along said south line, 92.01 feet; thence South 63 degrees 02 minutes 24 seconds East, 120.00 feet; thence North 26 degrees 57 minutes 36 seconds East, 16.02 feet; thence South 63 degrees 02 minutes 24 seconds East, 140.00 feet; thence South 26 degrees 57 minutes 36 seconds West, 360.00 feet; thence South 63 degrees 02 minutes 24 seconds East, 70.00 feet; thence South 26 degrees 57 minutes 36 seconds West, 321.99 feet to a point on the south line of said Outlot B; thence South 89 degrees 52 minutes 26 seconds West, along said south line, 469.04 feet to the Point of Beginning and there terminating. AND Block 3 of HARDWOOD ESTATES SECOND. Containing 10.46 acres, more or less.

EXHIBIT B 1-6

Hardwood Estates Plat

EXHIBIT C 1-5
PRELIMINARY PLAT

EXHIBIT D

PUD PLAN