

**TO: HONORABLE MAYOR AND CANNON FALLS CITY COUNCIL**  
**FROM: LAURA QUALEY, COMMUNITY & BUSINESS DEV. SPECIALIST**  
**SUBJECT: APPROVING RESOLUTION 2820 FOR FINAL PLAT AND PUD**  
**FINAL PLANS FOR HARDWOOD ESTATES SECOND**  
**SUBDIVISION**

**MEETING DATE: August 5, 2025**

**BACKGROUND:** The Cannon Falls Economic Development Authority (the "Developer") owns 41.84 acres in the City limits identified as (the "Property") aspires to proceed with the next phase of the housing development in Cannon Falls called Hardwood Estates (the "Project").

The Planning Commission held a public hearing to consider the project on Monday, May 12, 2025 for the proposal of a Preliminary Plat and Planned Unit Development and made a recommendation to move it forward to Council for consideration and approval. Council passed Resolution 2813 approving the preliminary plat, planned unit development to accommodate 25 single family lots and replatting two twin home (dual family) style lots from the previous Second Subdivision into two single family lots which total 27 single family lots.

The Third Subdivision will not include any twin homes in this phase due to market demand in the previous phase. The style of homes in this phase will be graded for 22 ramblers (which can either accommodate a full basement or zero entry); 3 Lookouts; and 2 Walkouts. The Developer is seeking simultaneous approvals of the Final Plat and Final PUD Plan consisting of 27 residential lots.

The Final Plat, Final PUD Plan are included for your review.

**REQUESTED COUNCIL ACTION:** City Council is being asked to adopt Resolution 2820 to approve the Final plat and Final PUD Plan.



## DEVELOPMENT APPLICATION

918 River Road  
Cannon Falls, MN 55009  
507-263-9308

### SUBJECT TO STAFF REVIEW

Street Location of Property: Maple Lane & Aspen Court of Hardwood Estates 3rd Subdivision

Legal Description of Property: See Attached

Owner of Record: Name: Economic Development Authority

Daytime Phone: 507-263-9312

Address:

918 River Rd, Cannon Falls, MN 55009

Applicant (if other  
than owner)

Name: Andrew Althoff

Daytime Phone: 507-298-0652

Address: 1230 4th St. S.

Cannon Falls, MN 55009

E-Mail Address: andrewa@@crb.bank

Notary Stamp

Nature of Legal or Equitable Interest of Applicant (Documentation must be attached :)

- |          |                                     |                        |                                     |                                   |
|----------|-------------------------------------|------------------------|-------------------------------------|-----------------------------------|
| Request: | <input type="checkbox"/>            | Conditional Use Permit | <input type="checkbox"/>            | Rezoning/Ordinance Text Amendment |
|          | <input type="checkbox"/>            | Subdivision            | <input type="checkbox"/>            | Variance                          |
|          | <input type="checkbox"/>            | Concept                | <input type="checkbox"/>            | Interim Use Permit                |
|          | <input type="checkbox"/>            | Preliminary Plat       | <input type="checkbox"/>            | Amendment                         |
|          | <input checked="" type="checkbox"/> | Final Plat             | <input checked="" type="checkbox"/> | CUP <b>PUD</b>                    |
|          | <input type="checkbox"/>            | Administrative         | <input type="checkbox"/>            | Site Plan Review                  |
|          | <input type="checkbox"/>            | Administrative Permit  | <input type="checkbox"/>            | Special Home Occupation           |
|          | <input type="checkbox"/>            | Vacation               | <input type="checkbox"/>            | Annexation Petition               |
|          | <input type="checkbox"/>            | Comp Plan Amendment    | <input type="checkbox"/>            | Appeal                            |
|          | <input type="checkbox"/>            | Other                  |                                     |                                   |

**Note:** Each requested approval may require a separate fee and/or escrow amount, even where they apply to the same project.

Date Application Received: 7/28/2025

Date Submission Deemed to be Complete: \_\_\_\_\_

Give detailed description of project and reason for conditional use or variance, if applicable:

WHKS has completed the final plat based on the criteria required per the PUD ordinances for final plat and final PUD review.

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**SUPPORTING DOCUMENTATION:** Applicant must submit with the application all documentation required by the Zoning or Subdivision Ordinance relating to the requested approval. Applicant will be advised of the completeness. Only when it has been determined that an application is complete will it be placed on a Planning Commission agenda for consideration. Applications that do not include the proper plans and/or documentation may be delayed from formal review. **FAILURE ON THE PART OF THE APPLICANT TO SUPPLY ALL NECESSARY SUPPORTIVE INFORMATION MAY BE GROUNDS FOR DENIAL OF THE REQUEST.**

**APPLICANT RESPONSIBILITY FOR PAYMENT OF ALL CITY FEES AND COSTS IN PROCESSING APPLICATION:** Applicant acknowledges that she/he understands that before this request can be considered and/or approved, all fees, including the basic application fee and any escrow processing deposits must be paid to the city and that, if additional fees are required to cover costs incurred by the City, the City Clerk has a right to require additional escrow amounts and payment. These fees include all actual costs including, but not limited to, planning, engineering, public notification, and legal costs. All processing of an application will be halted if payments are not made within 30 days of receipt of a monthly statement from the City, in the event any escrow account established is insufficient to cover the costs.

**SIGNED:**

  
\_\_\_\_\_  
Property Owner

Date: 7/28/2025

\_\_\_\_\_  
Applicant (if not the Property Owner)

Date: \_\_\_\_\_

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**FOR CITY USE ONLY**

Date Application Filed: \_\_\_\_\_

Basic Fees: \_\_\_\_\_

Received By: \_\_\_\_\_

Escrow Deposit: \_\_\_\_\_

Evidence of Ownership Submitted: ☐ Yes

☐ No

☐ Required

Certified Lot Survey: ☐ Yes

☐ No

☐ Required

Legal Description Adequate: ☐ Yes

☐ No

☐ Required

Date of Planning Commission Meeting: \_\_\_\_\_

Recommendation of Planning Commission on: \_\_\_\_\_ ☐ Approve ☐ Deny

Recommendation of City Council on: \_\_\_\_\_ ☐ Approve ☐ Deny

Subject to following conditions: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



## Legal Description

That part of Outlot B of HARDWOOD ESTATES SECOND, described as follows:

Beginning at the southwest corner of said Outlot B; thence North 00 degrees 07 minutes 34 seconds West, (Note: All bearings are in relationship with the Goodhue County Coordinate System NAD '83, Adjusted 1996), along the east line of Block 3 of HARDWOOD ESTATES SECOND, 153.00 feet to the south right-of-way line of Maple Lane; thence North 89 degrees 52 minutes 26 seconds East, along said south right-of-way line, 15.88 feet; thence North 00 degrees 55 minutes 43 seconds West, along the east line of Block 2 of HARDWOOD ESTATES SECOND and Block 1 of HARDWOOD ESTATES, 560.56 feet; thence North 70 degrees 52 minutes 17 seconds East, along the south line of Outlot A of HARDWOOD ESTATES SECOND, 175.71 feet; thence South 84 degrees 01 minutes 20 seconds East, along said south line, 213.63 feet; thence South 87 degrees 07 minutes 55 seconds East, along said south line, 92.01 feet; thence South 63 degrees 02 minutes 24 seconds East, 120.00 feet; thence North 26 degrees 57 minutes 36 seconds East, 16.02 feet; thence South 63 degrees 02 minutes 24 seconds East, 140.00 feet; thence South 26 degrees 57 minutes 36 seconds West, 360.00 feet; thence South 63 degrees 02 minutes 24 seconds East, 70.00 feet; thence South 26 degrees 57 minutes 36 seconds West, 321.99 feet to a point on the south line of said Outlot B; thence South 89 degrees 52 minutes 26 seconds West, along said south line, 469.04 feet to the Point of Beginning and there terminating.

AND

Block 3 of HARDWOOD ESTATES SECOND.

Containing 10.46 acres, more or less.

2905 South Broadway  
Rochester, MN 55904-5515  
Phone: 507.288.3923  
Fax: 507.288.2675  
Email: rochester@whks.com  
Website: www.whks.com



July 25, 2025

Mr. Jon Radermacher  
City Administrator  
City of Cannon Falls  
918 River Road  
Cannon Falls, MN 55009

RE: Cannon Falls, MN  
Hardwood Estates 3rd Subdivision  
**Review of Final Plat and Plans**

Dear Jon:

We have reviewed the revised final plat and plans for the referenced project. We offer the following comments:

1. Zoning items and development fees that apply to this site should be discussed with the City Administrator.
2. The EDA and City do not need to coordinate the preliminary plat review with Goodhue County and MnDOT. The plat is not adjacent to either agency's right-of-way.
3. Two townhome lots (Lots 1 & 2, Block 3) from Hardwood Estates 2<sup>nd</sup> are being re-platted into single family lots. This requires adjusting one of the existing sanitary sewer and water services. This adjustment will take place within the boulevard and will not disturb the street.
4. Hardwood Estates 3<sup>rd</sup> will be constructed with intermediate and final completion dates. The intermediate completion date of late June 2026 will include 13 lots. This will allow home construction to start sooner. The remaining lots will be completed later in 2026.

July 25, 2025

Page 2 of 2

We recommend approval of the proposed plat and plans conditional upon the above items being addressed and the execution of the development agreement.

Please contact us if you have any questions.

Sincerely,

**WHKS** & co.

William Angerman, P.E.  
Cannon Falls Consulting City Engineer

Cc: Izzy Carlson, City of Cannon Falls  
Jed Petersen, City of Cannon Falls  
Jesse Preston, WHKS  
Laura Qualey, CEDA  
Daren Sikkink, WHKS

# HARDWOOD ESTATES THIRD SUBDIVISION

## INSTRUMENT OF DEDICATION

KNOW ALL PERSONS BY THESE PRESENTS: That Glenn M. Mulvihill, a single person, fee owner and Cannon Falls Economic Development Authority, a Minnesota Corporation, contract purchaser of the following described property situated in the County of Goodhue, State of Minnesota, to wit:

That part of Outlot B of HARDWOOD ESTATES SECOND SUBDIVISION, described as follows:

Beginning at the southwest corner of said Outlot B; thence North 00 degrees 07 minutes 34 seconds West, (Note: All bearings are in relationship with the Goodhue County Coordinate System NAD '83, Adjusted 1996), along the east line of Block 3 of HARDWOOD ESTATES SECOND SUBDIVISION, 153.00 feet to the south right-of-way line of Maple Lane; thence North 89 degrees 52 minutes 26 seconds East, along said south right-of-way line, 15.88 feet; thence North 00 degrees 55 minutes 43 seconds West, along the east line of Block 2 of HARDWOOD ESTATES SECOND SUBDIVISION and Block 1 of HARDWOOD ESTATES SUBDIVISION, 560.55 feet; thence North 70 degrees 52 minutes 17 seconds East, along the south line of Outlot A of HARDWOOD ESTATES SECOND SUBDIVISION, 175.71 feet; thence South 84 degrees 01 minutes 20 seconds East, along said south line, 213.63 feet; thence South 87 degrees 07 minutes 55 seconds East, along said south line, 92.01 feet; thence South 63 degrees 02 minutes 24 seconds East, 120.80 feet; thence North 26 degrees 57 minutes 36 seconds East, 16.02 feet; thence South 63 degrees 02 minutes 24 seconds East, 140.00 feet; thence South 26 degrees 57 minutes 36 seconds West, 360.00 feet; thence South 63 degrees 02 minutes 24 seconds East, 70.00 feet; thence South 26 degrees 57 minutes 36 seconds West, 321.99 feet to a point on the south line of said Outlot B; thence South 89 degrees 52 minutes 26 seconds West, along said south line, 459.04 feet to the Point of Beginning and there terminating.

AND

Block 3 of HARDWOOD ESTATES SECOND SUBDIVISION.

Containing in all, 10.46 acres, more or less.

Has caused the same to be surveyed and platted as HARDWOOD ESTATES THIRD SUBDIVISION and do hereby dedicate to the public for public use the thoroughfares and dedicate the easements as shown on this plat for drainage and utility purposes.

In witness whereof said CANNON FALLS ECONOMIC DEVELOPMENT AUTHORITY, a Minnesota Corporation, has caused these presents to be signed by its proper officers this \_\_\_\_ day of \_\_\_\_, 20\_\_.

Signed: CANNON FALLS ECONOMIC DEVELOPMENT AUTHORITY

\_\_\_\_\_  
Andrew Althoff, Chairperson

\_\_\_\_\_  
Luke Cooreman, Treasurer

STATE OF MINNESOTA  
COUNTY OF GOODHUE

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_, 20\_\_, by Andrew Althoff, Chairperson and Luke Cooreman, Treasurer, of CANNON FALLS ECONOMIC DEVELOPMENT AUTHORITY, a Minnesota Corporation, on behalf of the corporation.

\_\_\_\_\_  
Notary Public, \_\_\_\_ County, Minnesota

My Commission Expires \_\_\_\_

In witness whereof said GLENN M. MULVIHILL, a single person, has hereunto set his hand this \_\_\_\_ day of \_\_\_\_, 20\_\_.

\_\_\_\_\_  
Glenn M. Mulvihill

STATE OF MINNESOTA  
COUNTY OF GOODHUE

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_, 20\_\_, by Glenn M. Mulvihill, a single person.

\_\_\_\_\_  
Notary Public, \_\_\_\_ County, Minnesota

My Commission Expires \_\_\_\_

CITY PLANNING COMMISSION, CITY OF CANNON FALLS, MINNESOTA

Approved by the Planning Commission of the City of Cannon Falls, Minnesota this \_\_\_\_ day of \_\_\_\_, 20\_\_.

\_\_\_\_\_  
Chair Secretary

CITY COUNCIL, CITY OF CANNON FALLS, MINNESOTA

This Plat of HARDWOOD ESTATES THIRD SUBDIVISION was approved and accepted by the City Council of the City of Cannon Falls, Minnesota at a regular meeting thereof held this \_\_\_\_ day of \_\_\_\_, 20\_\_, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03.

By: \_\_\_\_\_  
Mayor

By: \_\_\_\_\_  
City Administrator

## COUNTY SURVEYOR

Pursuant to Chapter 389.09, laws of Minnesota, this plat has been checked and approved, this \_\_\_\_ day of \_\_\_\_, 20\_\_.

\_\_\_\_\_  
Jeff Ekblad, Goodhue County Surveyor

## GOODHUE COUNTY AUDITOR/TREASURER

Taxes payable in the year 20\_\_, on the land herein described, have been paid; there are no delinquent taxes and transfer has been entered on this \_\_\_\_ day of \_\_\_\_, 20\_\_.

\_\_\_\_\_  
Goodhue County Auditor/Treasurer

## GOODHUE COUNTY RECORDER

Document Number \_\_\_\_

I hereby certify that this instrument was filed in the Office of the County Recorder for record on this \_\_\_\_ day of \_\_\_\_, 20\_\_, at \_\_\_\_ o'clock \_\_ m. and was duly recorded as Document Number \_\_\_\_.

\_\_\_\_\_  
Goodhue County Recorder

## SURVEYOR'S CERTIFICATE

I hereby certify that I have surveyed and platted the property described on this plat as HARDWOOD ESTATES THIRD SUBDIVISION; that this plat is a correct representation of the boundary survey, that all mathematical data and labels are correctly designated on the plat; that all monuments depicted on the plat have or will be correctly set within one year as indicated on the plat; that all water boundaries and wet lands as defined in MS 505.01, Subd. 3, existing as of the date of this certification are shown and labeled on the plat; and that all public ways are shown and labeled on the plat.

Dated this \_\_\_\_ day of \_\_\_\_, 20\_\_.

\_\_\_\_\_  
Timothy A. Hruska, Land Surveyor  
Minnesota License No. 44930

STATE OF MINNESOTA  
COUNTY OF OLUSTED.

The foregoing Surveyor's Certificate was acknowledged before me this \_\_\_\_ day of \_\_\_\_, 20\_\_, by Timothy A. Hruska, Minnesota License No. 44930.

\_\_\_\_\_  
Notary Public, \_\_\_\_ County, Minnesota

My Commission Expires \_\_\_\_

# HARDWOOD ESTATES THIRD SUBDIVISION

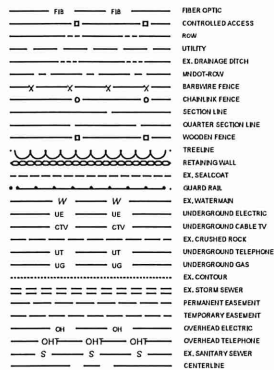


CURVE TABLE				
SEGMENT	CURVE LENGTH	RADIUS	DELTA	CHORD LENGTH
C1	186.67	170.00	62°54'50"	177.43
C2	80.37	170.00	27°05'10"	78.62
C3	43.36	60.00	41°24'35"	42.43
C4	71.01	60.00	67°48'19"	66.93
C5	50.27	60.00	48°00'01"	48.81
C6	54.04	60.00	51°36'14"	52.23
C7	51.57	60.00	49°14'55"	50.00
C8	43.36	60.00	41°24'35"	42.43
C9	65.64	230.00	16°21'07"	65.42
C10	43.09	230.00	10°44'03"	43.03
C11	61.18	230.00	15°14'27"	61.00
C12	61.18	230.00	15°14'27"	61.00
C13	61.18	230.00	15°14'27"	61.00
C14	61.18	230.00	15°14'27"	61.00
C15	61.18	230.00	15°14'27"	61.00
C16	7.83	230.00	1°57'04"	7.83

# SYMBOL LEGEND



# LINE LEGEND



# HARDWOOD ESTATES THIRD SUBDIVISION CANNON FALLS, MINNESOTA 2025

SHEET	TITLE
SHEET 1	TITLE SHEET
SHEET 2-5	DETAILS
SHEET 6-7	SWPPP
SHEET 8	TYPICAL ROAD SECTION & SERVICE TABLE
SHEET 9	EXISTING CONDITIONS PLAN (COLOR)*
SHEET 10	GRADING PLAN (COLOR)*
SHEET 11	EROSION CONTROL PLAN (COLOR)*
SHEET 12	PED RAMP GRADES (COLOR)*
SHEET 13-22	PLAN AND PROFILE (COLOR)*

\*SELECT PLAN SHEETS WERE PRODUCED IN COLOR AND SHOULD BE PRINTED AS SUCH TO AVOID MISREPRESENTATIONS OR MISUNDERSTANDINGS.

## GOVERNING SPECIFICATIONS

THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND ANY SUPPLEMENTAL SPECIFICATIONS SHALL GOVERN, EXCLUDING DIVISION I.

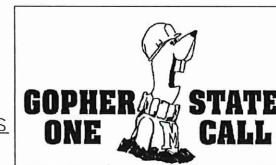
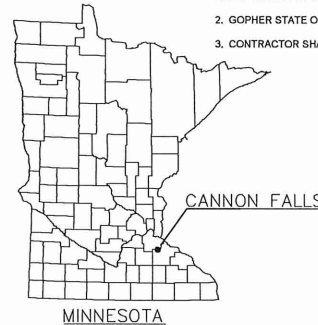
## NOTES:

1. WHERE PUBLIC UTILITY FIXTURES OR FACILITIES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THESE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION INVOLVING EXCAVATION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES OR RELOCATION. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND UTILITY OPERATOR LOCATION MARKINGS THAT WERE REQUESTED THROUGH GOPHER STATE ONE CALL; THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. TYPE, SIZE AND GENERAL LOCATION OF THE FACILITIES WERE REQUESTED OF THE OPERATORS AND SHOWN ON THE PLANS, AND IF NECESSARY, UPDATED WITHIN 90 DAYS OF COMPLETION OF THE FINAL PLANS. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY THE WORK.

2. GOPHER STATE ONE CALL TELE: 1-800-252-1166.

3. CONTRACTOR SHALL COORDINATE UTILITY RELOCATIONS WITH THE UTILITY COMPANIES, THIS SHALL BE INCIDENTAL TO THE PROJECT.

## PROJECT LOCATION



## CITY OFFICIALS

MAYOR: MATT MONTGOMERY  
 COUNCIL: RYAN JEPPESEN  
 CHAD JOHNSON  
 DIANE JOHNSON  
 LAURA KRONENBERGER  
 CHRIS NOBACH  
 LISA ZIMMERMAN

CITY ADMINISTRATOR: JON RADERMACHER  
 PUBLIC WORKS DIRECTOR: JED PETERSEN

RECOMMENDED FOR APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_  
CITY ENGINEER

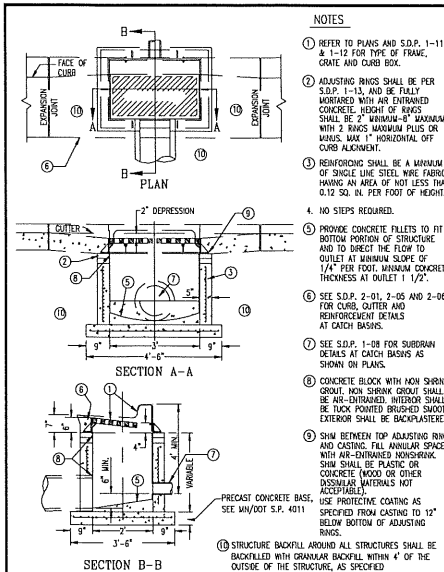
## UTILITY LOCATION UTILITY QUALITY LEVEL C UNLESS OTHERWISE INDICATED

UTILITY LOCATION PERFORMED ON: 4/11/23  
 GOPHER ONE CALL TICKET NUMBERS:  
 231011663, 231011765, 231011843, 231011844, 231011908

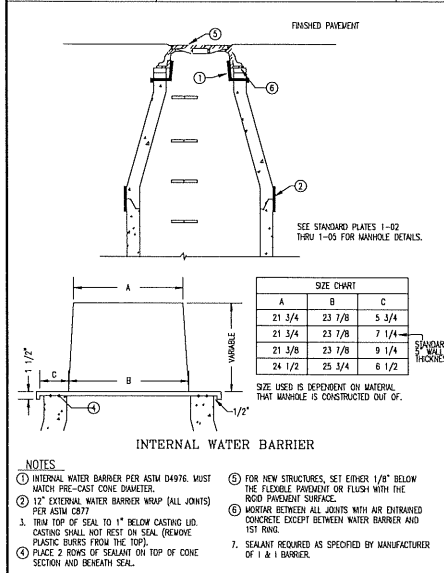
I hereby certify that this plan, specification or report was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

David A. Martin  
 Date \_\_\_\_\_ License No. 51131

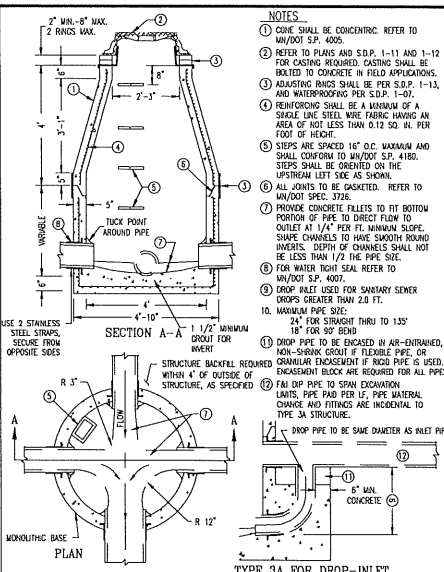




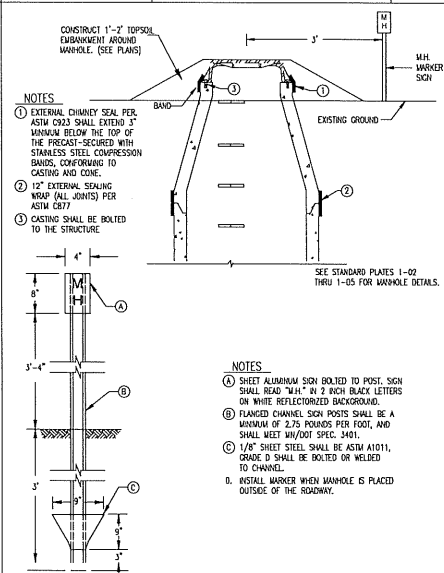
**whks** STRUCTURE TYPE 1 (PRECAST) REVISOR: 01/10/25 SHEET: 1 OF 1 PLATE NO. 1-01



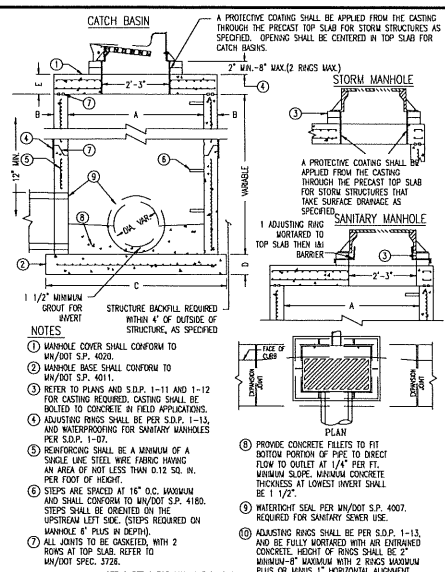
**whks** MANHOLE WATERPROOFING (PAVED AREAS) REVISOR: 12/31/19 SHEET: 1 OF 2 PLATE NO. 1-07



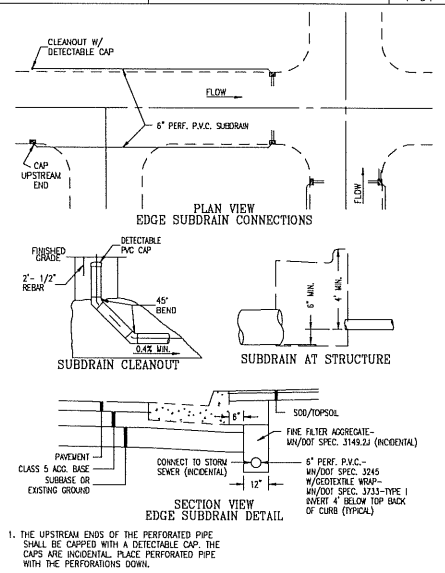
**whks** STRUCTURE TYPES 3 AND 3A (PRECAST) (SANITARY SEWER) REVISOR: 01/10/25 SHEET: 1 OF 1 PLATE NO. 1-03



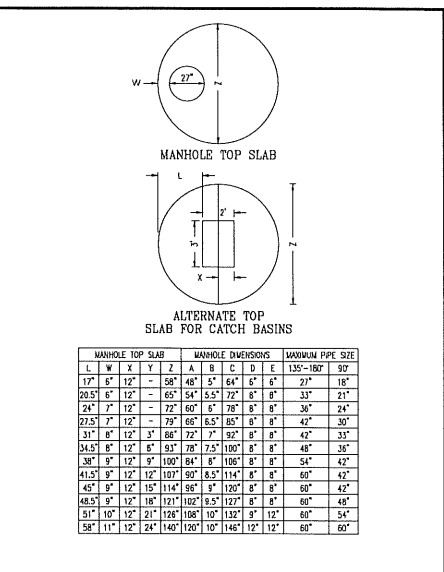
**whks** MANHOLE WATERPROOFING (NON-PAVED AREAS) REVISOR: 12/31/19 SHEET: 2 OF 2 PLATE NO. 1-07



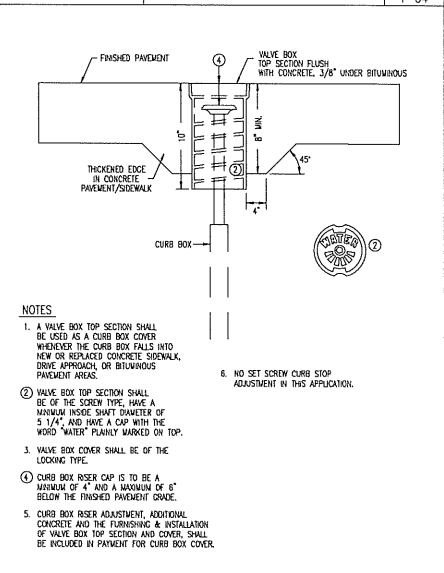
**whks** STRUCTURE TYPE 4 (XX in.) REVISOR: 01/10/25 SHEET: 1 OF 2 PLATE NO. 1-04



**whks** SUBSURFACE EDGE DRAINS REVISOR: 12/31/19 SHEET: 1 OF 2 PLATE NO. 1-08



**whks** STRUCTURE TYPE 4 (XX in.) MANHOLE DIMENSIONS REVISOR: 12/31/19 SHEET: 1 OF 2 PLATE NO. 1-04



**whks** CURB BOX COVER REVISOR: 12/31/19 SHEET: 1 OF 1 PLATE NO. 1-10

### CASTINGS - STRUCTURE TYPE 1

TYPE	DESCRIPTION	NEIGHA REF. NO.	REMARKS
B	3" CURB INLET FRAME, GATE & BOX	R-2867	USE TYPE B IN BATTERFACE
C	3" DRIVEWAY INLET FRAME & GATE	R-2859-A	USE TYPE C IN BATTERFACE
D	3" CURB INLET FRAME, GATE & BOX	R-2867	USE TYPE D IN BATTERFACE
E	3" CURB DRIVEWAY INLET FRAME, GATE & BOX	R-2867	USE TYPE E IN BATTERFACE

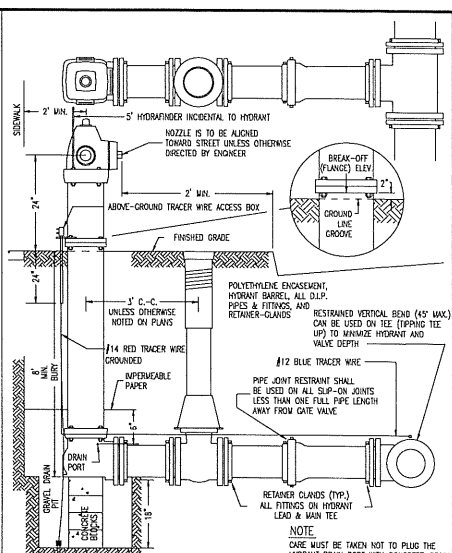
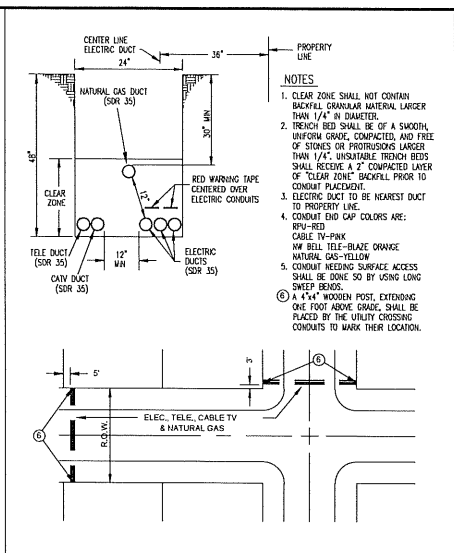
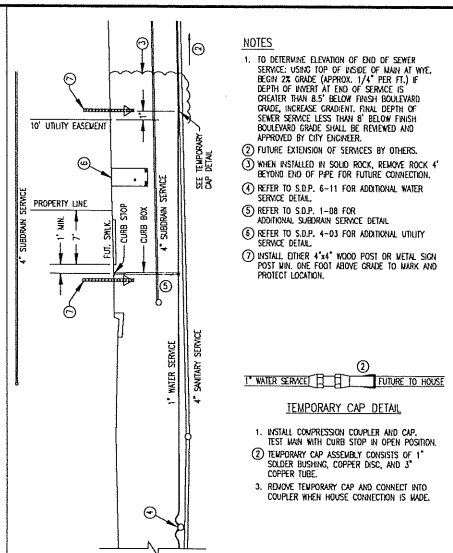
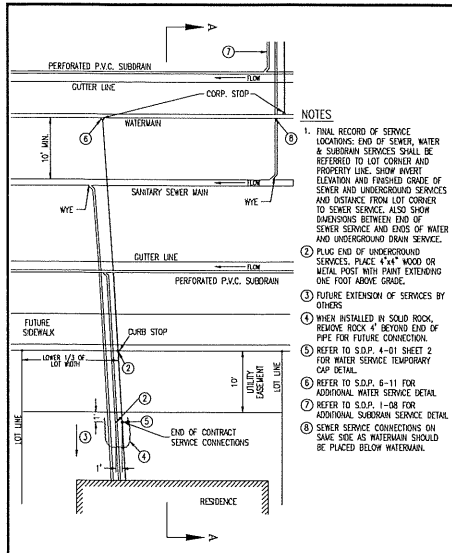
  

### CASTINGS - OTHER STRUCTURES

TYPE	DESCRIPTION	NEIGHA REF. NO.	REMARKS
1	1" FRAME & COVER-1 COCKEY	R-1916-C	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
2	1" FRAME & COVER-2 COCKEY	R-1916-B	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
3	1" FRAME & COVER-3 COCKEY	R-1916-A	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
4	1" FRAME & COVER-4 COCKEY	R-1916-D	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
5	1" FRAME & COVER-5 COCKEY	R-1916-E	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
6	1" FRAME & COVER-6 COCKEY	R-1916-F	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
7	1" FRAME & COVER-7 COCKEY	R-1916-G	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
8	1" FRAME & COVER-8 COCKEY	R-1916-H	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
9	1" FRAME & COVER-9 COCKEY	R-1916-I	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
10	1" FRAME & COVER-10 COCKEY	R-1916-J	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
11	1" FRAME & COVER-11 COCKEY	R-1916-K	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
12	1" FRAME & COVER-12 COCKEY	R-1916-L	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
13	1" FRAME & COVER-13 COCKEY	R-1916-M	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
14	1" FRAME & COVER-14 COCKEY	R-1916-N	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
15	1" FRAME & COVER-15 COCKEY	R-1916-O	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
16	1" FRAME & COVER-16 COCKEY	R-1916-P	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
17	1" FRAME & COVER-17 COCKEY	R-1916-Q	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
18	1" FRAME & COVER-18 COCKEY	R-1916-R	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
19	1" FRAME & COVER-19 COCKEY	R-1916-S	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
20	1" FRAME & COVER-20 COCKEY	R-1916-T	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
21	1" FRAME & COVER-21 COCKEY	R-1916-U	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
22	1" FRAME & COVER-22 COCKEY	R-1916-V	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
23	1" FRAME & COVER-23 COCKEY	R-1916-W	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
24	1" FRAME & COVER-24 COCKEY	R-1916-X	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
25	1" FRAME & COVER-25 COCKEY	R-1916-Y	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
26	1" FRAME & COVER-26 COCKEY	R-1916-Z	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
27	1" FRAME & COVER-27 COCKEY	R-1916-AA	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
28	1" FRAME & COVER-28 COCKEY	R-1916-AB	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
29	1" FRAME & COVER-29 COCKEY	R-1916-AC	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
30	1" FRAME & COVER-30 COCKEY	R-1916-AD	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
31	1" FRAME & COVER-31 COCKEY	R-1916-AE	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
32	1" FRAME & COVER-32 COCKEY	R-1916-AF	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
33	1" FRAME & COVER-33 COCKEY	R-1916-AG	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
34	1" FRAME & COVER-34 COCKEY	R-1916-AH	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
35	1" FRAME & COVER-35 COCKEY	R-1916-AI	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
36	1" FRAME & COVER-36 COCKEY	R-1916-AJ	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
37	1" FRAME & COVER-37 COCKEY	R-1916-AM	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
38	1" FRAME & COVER-38 COCKEY	R-1916-AN	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
39	1" FRAME & COVER-39 COCKEY	R-1916-AO	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
40	1" FRAME & COVER-40 COCKEY	R-1916-AP	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
41	1" FRAME & COVER-41 COCKEY	R-1916-AQ	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
42	1" FRAME & COVER-42 COCKEY	R-1916-AR	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
43	1" FRAME & COVER-43 COCKEY	R-1916-AS	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
44	1" FRAME & COVER-44 COCKEY	R-1916-AT	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
45	1" FRAME & COVER-45 COCKEY	R-1916-AU	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
46	1" FRAME & COVER-46 COCKEY	R-1916-AV	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
47	1" FRAME & COVER-47 COCKEY	R-1916-AW	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
48	1" FRAME & COVER-48 COCKEY	R-1916-AX	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
49	1" FRAME & COVER-49 COCKEY	R-1916-AY	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
50	1" FRAME & COVER-50 COCKEY	R-1916-AZ	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING

NOTES:  
1. CASTINGS SHALL BE ACCORDING TO WADOT SPEC. 303.1-1-2 SUPPLIED BY FOUNDRIES THAT ARE APPROVED ON THE WADOT APPROVED/QUALIFIED LIST.  
2. ALL CASTINGS SHALL COMPLY WITH U.S. CODE OF FEDERAL REGULATIONS 23CFR410.410.  
3. ALL CASTINGS SHALL COMPLY WITH U.S. CODE OF FEDERAL REGULATIONS

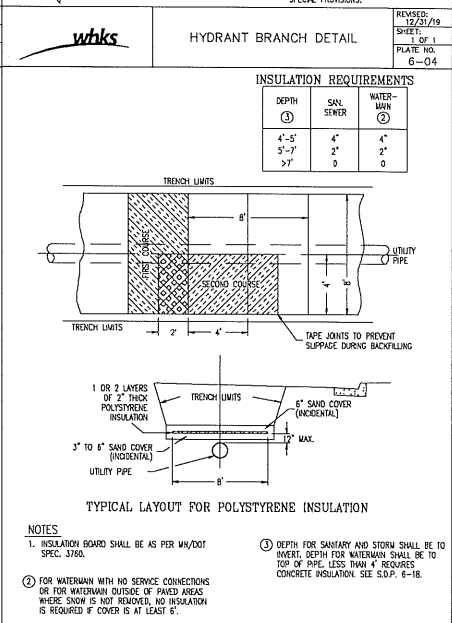
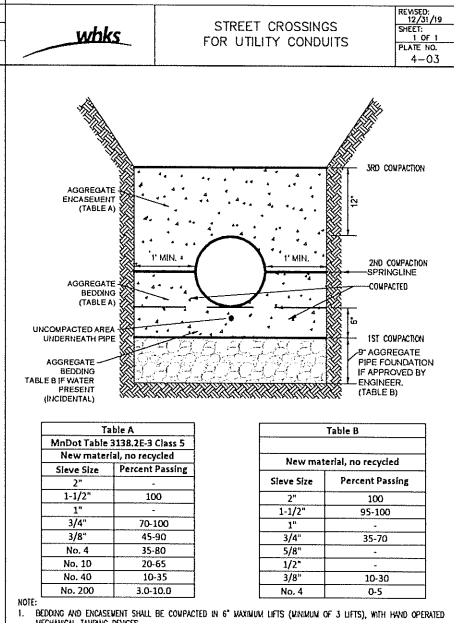
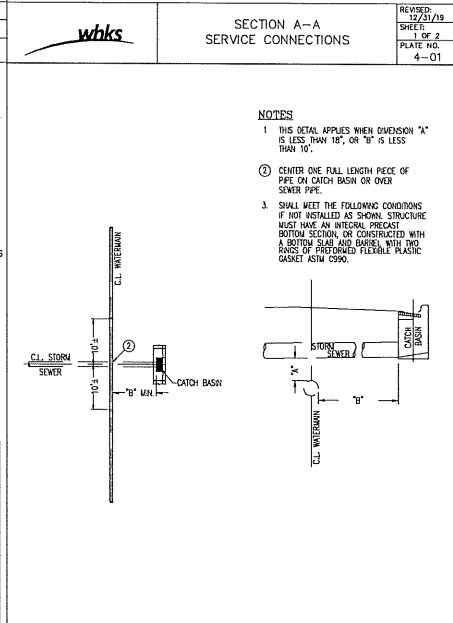
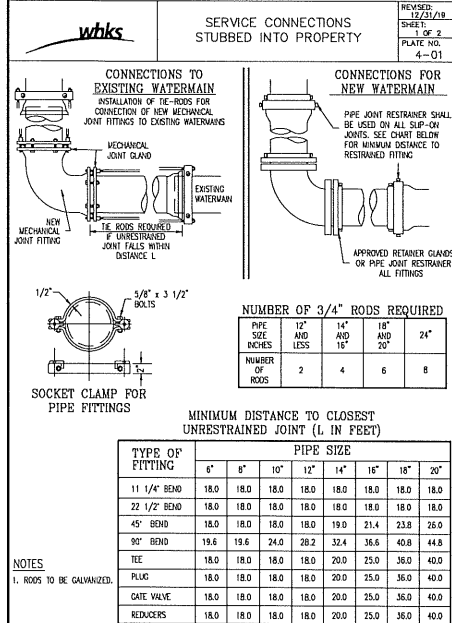




**whks**  
engineers • planners • landscape architects

1. I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

David A. Martin  
Date: 5/1/21  
License No. 51131



**DETAILS-3**

HARDWOOD ESTATES THIRD SUBDIVISION  
CANNON FALLS, MINNESOTA  
2025

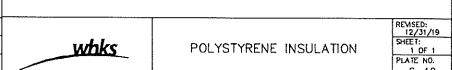
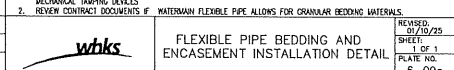
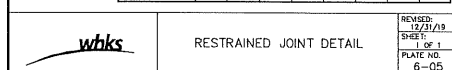
SCALE: AS SHOWN

WHKS PROJECT NO. 10116

DRAWN BY: KML

CHECKED BY: JPP

SHEET 4 OF 22



**whks**

RESTRAINED JOINT DETAIL

**whks**

ALIGNMENT OF WATERMAIN AT STORM CATCH BASIN CROSSING

**whks**

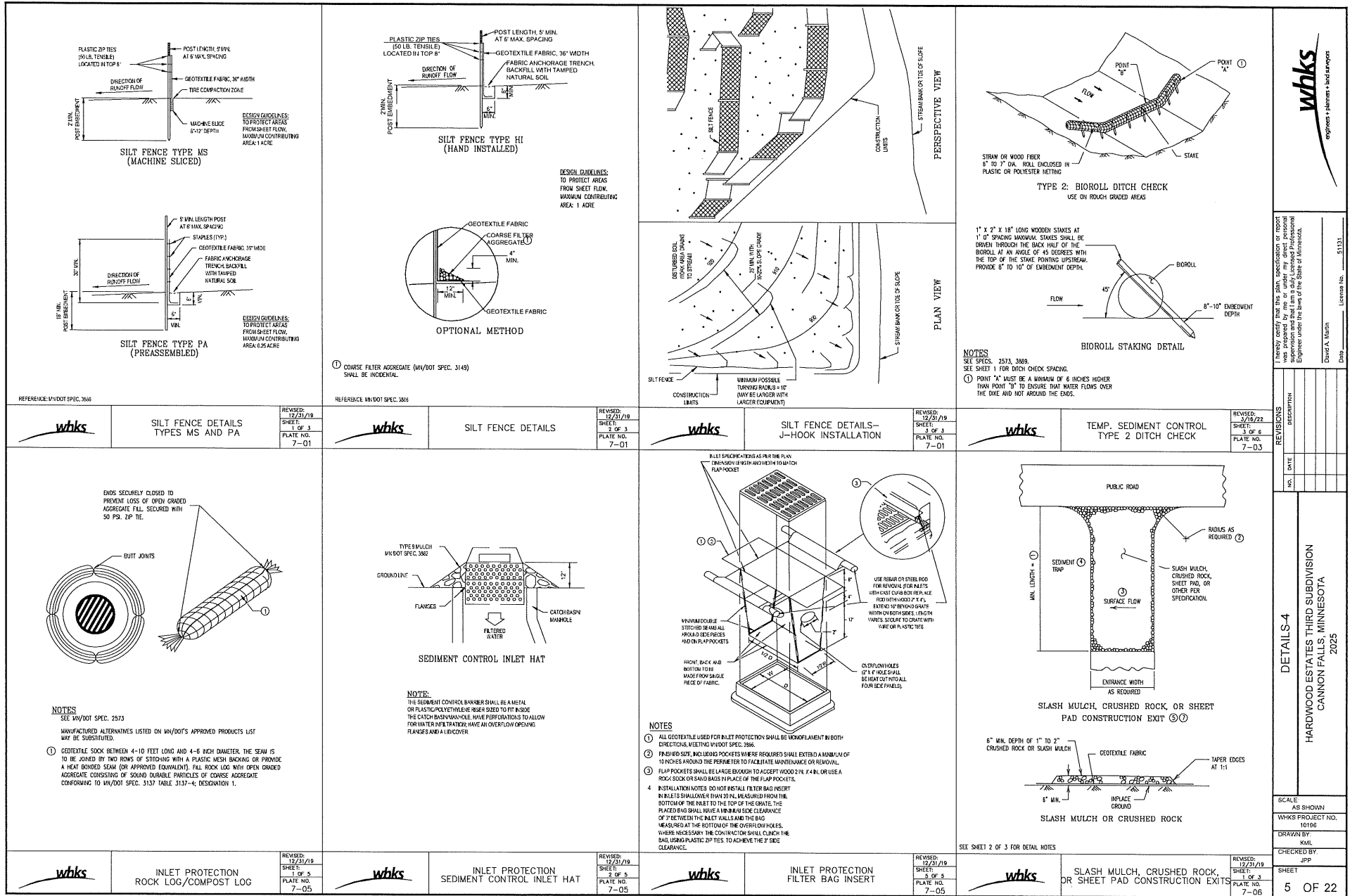
FLEXIBLE PIPE BEDDING AND ENCASEMENT INSTALLATION DETAIL

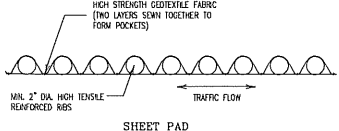
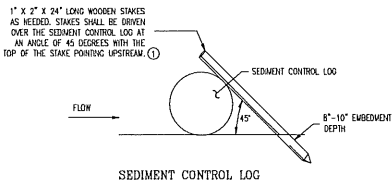
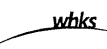

**whks**


POLYSTYRENE INSULATION

REVISIONS

NO.	DATE	DESCRIPTION
1	12/31/19	1 OF 2 SHEET, PLATE NO. 4-01
2	12/31/19	1 OF 1 SHEET, PLATE NO. 6-05



 <p>NOTES: SEE HW/ROOT SPECS. 2573 &amp; 3882.</p> <ol style="list-style-type: none"><li>MINIMUM LENGTH SHALL BE THE GREATER OF 50 FEET OR A LENGTH SUFFICIENT TO ALLOW A MINIMUM OF 5 TIRE ROTATIONS ON THE PROVIDED PAD. MINIMUM LENGTH SHALL BE CALCULATED USING THE LARGEST TIRE WHICH WILL BE USED IN TYPICAL OPERATIONS.</li><li>PROVIDE RADUS OR WOOD PAD SUFFICIENTLY TO PREVENT VEHICLE TIRES FROM TRACKING OFF OF PAD WHEN LEAVING SITE.</li><li>IF RUNOFF FROM DISTURBED AREAS FLOWS TOWARD CONSTRUCTION EXITS, PREVENT RUNOFF FROM DRAINING DIRECTLY TO PUBLIC ROAD OVER CONSTRUCTION EXIT BY CROWNING THE EXIT OR SLOPING TO ONE SIDE. IF SURFACE GRADING IS INSUFFICIENT, PROVIDE OTHER MEANS OF INTERCEPTING RUNOFF.</li><li>IF RUNOFF FROM CONSTRUCTION EXITS WILL DRAIN OFF OF PROJECT SITE, PROVIDE SEDIMENT TRAP WITH STABILIZED OVERFLOW.</li><li>IF A TIRE WASH OFF IS REQUIRED THE CONSTRUCTION EXITS SHALL BE GRADED TO DRAIN THE WASH WATER TO A SEDIMENT TRAP.</li><li>MINIMUM LENGTH OF RUMBLE PAD SHALL BE 20 FEET, OR AS REQUIRED TO REMOVE SEDIMENT FROM TIRES. IF SIGNIFICANT SEDIMENT IS TRACKED FROM THE SITE, THE RUMBLE PAD SHALL BE LENGTHENED OR THE DESIGN MODIFIED TO PROVIDE ADDITIONAL VIBRATION. WASH-OFF LENGTH SHALL BE AS REQUIRED TO EFFECTIVELY REMOVE CONSTRUCTION SEDIMENT FROM VEHICLE TIRES.</li><li>MAINTENANCE OF CONSTRUCTION EXITS SHALL OCCUR WHEN THE EFFECTIVENESS OF SEDIMENT REMOVAL HAS BEEN REDUCED. MAINTENANCE SHALL CONSIST OF REMOVING SEDIMENT AND CLEANING THE MATERIALS OR PLACING ADDITIONAL MATERIAL (SLASH MULCH OR CRUSHED ROCK) OVER SEDIMENT FILLED MATERIAL TO RESTORE EFFECTIVENESS.</li></ol>		 <p>NOTES: SEE SPECS. 2573, 3887.</p> <ol style="list-style-type: none"><li>PLACE STAKES AS NEEDED TO PREVENT MOVEMENT OF SEDIMENT CONTROL LOGS PLACED ON SLOPES OR AS NEEDED DUE TO OTHER FACTORS. STAKES SHALL BE INCIDENTAL.</li><li>TYPES: WOOD CHIP, COMPOST OR ROCK.</li></ol>			
	TEMP. SEDIMENT CONTROL CONSTRUCTION EXITS	REVISED: 12/31/19 SHEET: 2 OF 3 PLATE NO. 7-D6		SEDIMENT CONTROL LOG	REVISED: 7/22/23 SHEET: 1 OF 1 PLATE NO. 7-10

 engineers • planners • land managers	I hereby certify that this plan, specification or report was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.	
	David A. Martin	License No. 51131
	Date	
	REVISIONS	
	NO.	DATE
DETAILS-5		
HARDWOOD ESTATES THIRD SUBDIVISION CANNON FALLS, MINNESOTA 2025		
SCALE: AS SHOWN		
WHKS PROJECT NO. 10196		
DRAWN BY: KML		
CHECKED BY: JPP		
SHEET		
6 OF 22		

FILE PATH: c:\bna\whks-prj-c01\mads25\A10106 TITLE DETAILS SWPPP.dwg PLOT DATE: 7/30/2025 4:28 PM

PROJECT LOCATION AND GENERAL SITE INFORMATION

PROJECT CONSISTS OF THE CONSTRUCTION OF STREETS AND UTILITIES FOR A RESIDENTIAL SUBDIVISION. PROJECT IS LOCATED SOUTH OF STATE HIGHWAY 19 AND WEST OF COUNTY ROAD 24 IN CANNON FALLS, MN.

TRAINING REQUIREMENTS

THE CONTRACTOR WILL ENSURE THAT THE TRAINING REQUIRED IN THE GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY IS COMPLIED WITH.

THE INDIVIDUAL TRAINED AND THE TRAINING RECEIVED WILL BE RECORDED IN THE SWPPP BEFORE THE START OF CONSTRUCTION OR AS SOON AS PERSONNEL FOR THE PROJECT HAVE BEEN DETERMINED.

LONG TERM OPERATION AND MAINTENANCE

THE CITY OF CANNON FALLS MAINTENANCE DEPARTMENT WILL BE RESPONSIBLE FOR THE LONG TERM OPERATION AND MAINTENANCE OF THE PERMANENT STORMWATER MANAGEMENT.

JED PETERSON  
PUBLIC WORKS DIRECTOR  
918 RIVER ROAD  
CANNON FALLS, MN 55009  
(507)-263-9300

KARST REGION

THERE ARE NO KNOWN KARST FEATURES (SINKHOLES, BLIND VALLEYS, MAPPED CAVES, SPRINGS, OR KARST WINDOWS) WITHIN THE PROJECT AREA.

INSPECTIONS AND REPORTS PRACTICES

ROUTINE INSPECTION OF THE ENTIRE CONSTRUCTION SITE SHALL OCCUR AT LEAST ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS.

AT A MINIMUM, INSPECTIONS AND REPORTS MUST INCLUDE THE FOLLOWING:

- (1) DATE AND TIME OF INSPECTION.
- (2) NAME OF PERSON CONDUCTING INSPECTIONS
- (3) CONDITIONS OF SURFACE WATERS, DITCHES, CONVEYANCE SYSTEMS, AND VEHICLE EXITS.
- (4) FINDING OF INSPECTIONS, INCLUDING RECOMMENDATIONS FOR CORRECTIVE ACTIONS.
- (5) CORRECTIVE ACTIONS TAKEN, INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITIES.
- (6) DATE AND AMOUNT OF ALL RAINFALL EVENTS GREATER THAN 0.5 INCHES IN 24 HOURS.
- (7) DOCUMENTATION OF CHANGES MADE TO THE SWPPP WITHIN 7 DAYS.

RECEIVING SURFACE WATERS, DISCHARGE TO IMPAIRED WATERS & SPECIAL WATERS

THE TABLE BELOW IDENTIFIES ALL SURFACE WATERS WITHIN 1-MILE OF THE DISTURBED SOIL PROJECT BOUNDARIES, WHICH WILL RECEIVE STORMWATER RUNOFF FROM THE CONSTRUCTION SITE, DURING OR AFTER CONSTRUCTION.

RECEIVING SURFACE WATERS		
NAME OF WATER BODY	SPECIAL WATER (1)	IMPAIRED WATER (2)
CANNON RIVER	YES	YES

WETLAND AREAS

THIS PROJECT DOES NOT DISCHARGE STORMWATER WITH THE POTENTIAL FOR SIGNIFICANT ADVERSE IMPACTS TO A WETLAND.

DISTURBED SOIL AREA

TOTAL DISTURBED SOILS AREA FOR THIS PROJECT IS 13.1 ACRES.

IMPERVIOUS SOIL AREA

EXISTING AREA OF IMPERVIOUS SURFACE IS 0.0 ACRES.  
POST CONSTRUCTION AREA OF IMPERVIOUS SURFACE IS 1.2 ACRES.  
INCREASE OF IMPERVIOUS SURFACE IS 1.2 ACRES (PHASE 2 CONSTRUCTION ONLY).

THE INCREASE OF IMPERVIOUS SURFACES IS GREATER THAN 1.00 ACRE.

SOIL TYPES

THE SOIL TYPES FOUND ON THIS PROJECT ARE HSG A, B and C.

TEMPORARY SEDIMENT BASINS

THIS CONSTRUCTION PROJECT IS DESIGNED TO INCLUDE A SEDIMENT BASIN, SEE PLANS FOR DETAILS.

PERMANENT STORMWATER MANAGEMENT SYSTEM

ALL STORMWATER MUST BE DISCHARGED IN A MANNER THAT DOES NOT CAUSE NUISANCE CONDITIONS, EROSION IN RECEIVING WATERS OR ON DOWNSLOPE PROPERTIES, OR INUNDATION IN WETLANDS CAUSING A SIGNIFICANT ADVERSE IMPACT TO THE WETLANDS.

THIS PROJECT HAS AN INCREASE OF 1 OR MORE ACRE(S) OF IMPERVIOUS AREA. A PERMANENT STORMWATER MANAGEMENT SYSTEM WAS CONSTRUCTED AS PART OF HARDWOOD SECOND SUBDIVISION TO MANAGE THIS PHASE AND ALL FUTURE PHASES OF HARDWOOD ESTATES, AND IS ALREADY IN PLACE FOR THE PROJECT AREA.

CONSTRUCTION PHASING - EROSION AND SEDIMENT CONTROL SEQUENCING

SILT FENCE, CONSTRUCTION ENTRANCES, AND/OR OTHER SUITABLE PERIMETER BMP'S AS PROVIDED IN THE PLANS WILL BE INSTALLED PRIOR TO THE START OF ANY LAND DISTURBING ACTIVITY. CONSTRUCTION WILL BE REQUIRED TO BE PHASED SO THAT ALL DOWN GRADIENT SEDIMENT CONTROL MEASURES ARE INSTALLED PRIOR TO OR IN CONJUNCTION WITH ANY SOIL DISTURBING ACTIVITIES. THESE BMP'S SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION.

WHEN THE EXISTING TOPSOIL IS DISTURBED, THE TOPSOIL WILL BE STRIPPED AND STOCKPILED IN SOIL BERMS. STOCK PILED TOPSOIL BERMS WILL NOT BE PLACED IN ANY STORMWATER CONVEYANCES.

UPON COMPLETION OF THE CONSTRUCTION ACTIVITIES, THE STOCKPILED TOPSOIL BERMS WILL BE RE-SPREAD AND PERMANENT VEGETATION WILL BE ESTABLISHED AS PROVIDED IN THE PLAN.

ALL SOIL DISTURBING ACTIVITIES MUST BE COMPLETED AND ALL SOILS MUST BE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OVER THE ENTIRE PVIOUS SURFACE AREA, OR OTHER EQUIVALENT MEANS NECESSARY TO PREVENT FUTURE SOIL FAILURE UNDER EROSION CONDITIONS. ALL SEDIMENT MUST BE REMOVED FROM CONVEYANCE SYSTEMS AND DITCHES MUST BE STABILIZED WITH PERMANENT COVER. FINAL STABILIZATION SHALL BE DONE IN ACCORDANCE WITH THE PERMIT

EROSION PREVENTION PRACTICES

FOR AREAS WHERE DISTURBED SOILS DRAIN TO AN IMPAIRED OR SPECIAL WATER THE EXPOSED SOIL MUST BE STABILIZED NO LATER THAN 7 DAYS (14 DAYS IF NOT IMPAIRED OR SPECIAL WATER) AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA CEASED. SEE THE IMPAIRED & SPECIAL WATERS SECTION OF THIS SWPPP FOR ADDITIONAL BMP REQUIREMENTS FOR DISTURBED AREAS THAT DRAIN TO A SPECIAL OR IMPAIRED WATER.

SOILS SHALL BE STABILIZED WITHIN 24 HOURS FOR ACTIVITIES THAT ARE ADJACENT TO AND DRAIN TO PUBLIC WATERS WITH RESTRICTIONS DURING FISH SPAWNING TIMES.

THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE THAT DRAINS WATER FROM ANY PORTION OF THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE SITE, MUST BE STABILIZED WITHIN 200 LINEAL FEET FROM THE POINT OF DISCHARGE INTO ANY SURFACE WATER. STABILIZATION OF THE LAST 200 LINEAL FEET MUST BE COMPLETED WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER.

PIPE CULVERT OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER. THIS WILL INCLUDE DRAINAGE DITCHES THAT DRAIN WATER FROM ANY PORTION OF THE CONSTRUCTION SITE.

SEDIMENT CONTROL PRACTICES

TEMPORARY STOCKPILED TOPSOIL BERMS MUST INCLUDE PERMETER BMP'S AS PROVIDED IN THE PLAN AT LOCATIONS WHERE CONSTRUCTION STORMWATER DRAINS FROM THE PROJECT.

A 50 FOOT NATURAL BUFFER, OR REDUNDANT SEDIMENT CONTROLS IF BUFFER IS NOT FEASIBLE, SHALL BE USED NEAR SURFACE WATERS.

IN ORDER TO MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES, THERE SHALL BE NO UNBROKEN SLOPE LENGTH OF GREATER THAN 75 FEET FOR SLOPES WITH A GRADE OF 1:3 OR STEEPER.

ALL STORM DRAIN INLETS AND CULVERTS MUST BE PROTECTED BY APPROPRIATE BMP'S DURING CONSTRUCTION UNTIL ALL SOURCES WITH A POTENTIAL DISCHARGE TO THE INLET OR CULVERT HAVE BEEN STABILIZED.

VEHICLE TRACKING OF SEDIMENT FROM THE CONSTRUCTION SITE MUST BE MINIMIZED BY THE USE OF A STABILIZED CONSTRUCTION ENTRANCE AND OTHER BMP'S. STREET SWEEPING MUST BE USED IF SEDIMENT IS BEING TRACKED OFF THE CONSTRUCTION SITE.

UNLESS OTHERWISE SPECIFIED IN THE PERMIT, ALL NONFUNCTIONAL BMP'S MUST BE CLEANED, REPAIRED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL BMP'S WITHIN 24 HOURS AFTER DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW FOR ACCESS.

LOCATION OF SWPPP REQUIREMENTS

REQUIREMENT	TITLE	LOCATION	MN/DOT SPECIFICATION	SPECIAL PROVISION
NPDES PERMIT COMPLIANCE	SWPPP		1701, 1702, & 1717	1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT)
CERTIFIED PERSONNEL IN EROSION AND SEDIMENT CONTROL SITE MANAGEMENT	PROJECT CONTACTS	SWPPP PLANSET PAGE	1506, 1717, & 2573	1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT)
CHAIN OF RESPONSIBILITY	PROJECT CONTACTS			1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT)
PROJECT SCHEDULE / WEEKLY EROSION & SEDIMENT CONTROL SCHEDULE / COMPLETED INSPECTION / MAINTENANCE LOG				1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT)
SWPPP PREPARATION				
SITE MAP / RECEIVING WATERS / DIRECTION OF FLOW	GENERAL LAYOUT	PLANS	1717	
PROJECT SPECIFIC CONSTRUCTION STAGING			1717	1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT) 1806 (DETERMINATION AND EXTENSION OF CONTRACT TIME)
TEMPORARY EROSION AND SEDIMENT CONTROL BMP LOCATIONS, INSTALLATION, TIMING OF INSTALLATION, AND TYPE OF BMP	QUANTITY TABULATIONS	PLANS	2573 & 2575	2573 (STORMWATER MANAGEMENT)
ADDITIONAL TEMPORARY AND OR PERMANENT EROSION AND SEDIMENT CONTROL BMP'S NOT PROVIDED OR SHOWN IN THE PLAN			1717, 2573, & 2575	1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT) 2575 (RAPID STABILIZATION SPECIFICATION)
MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES, REMOVAL OF TRACKED SEDIMENT, REMOVAL OF DEVICES	SEDIMENT CONTROL PRACTICES	SWPPP PLANSET PAGE	1717 & 2573	1514 (MAINTENANCE DURING CONSTRUCTION) 1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT)
DEWATERING	DEWATERING & DRAINING	SWPPP DOCUMENT	2105.3B & 2451.3C	DEWATERING MAY ALSO REQUIRE A DNR PERMIT. NO DEWATERING IS ANTICIPATED FOR THIS PROEJCT.
FINAL STABILIZATION	QUANTITY TABULATIONS	PLANS & SPECS	1717, 2573, & 2575	1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT)
TEMPORARY EROSION AND SEDIMENT CONTROL DETAILS	EROSION CONTROL	PLAN DETAILS		
PERMANENT EROSION CONTROL DETAILS	EROSION CONTROL	PLAN DETAILS		

PROJECT CONTACTS

RESPONSIBLE AGENCY / PARTY	PERMIT CERTIFIED TRAINING (REFRESHER EVERY 3 YEARS)	INSTRUCTOR, DATE OF TRAINING	CONTACT NAME	PHONE NUMBER
MPCA	NPDES		BRIAN GREEN	507-206-2610
MPCA	EMERGENCY		STATE DUTY OFFICER	800-422-0798
DNR	NOT REQUIRED		PETER LEETE	651-296-6569
COE	NOT REQUIRED		DAVE STUDENSKI	507-895-2064
SWPPP PREPARATION	U OF MN DESIGN OF SWPPP EXPIRES 5/27	JOHN CHAPMAN ONLINE FALL 2023	TYLER BAUMBACH	507-288-3923
INSPECTOR			TO BE DETERMINED	
PROJECT ENGINEER	U OF MN DESIGN OF SWPPP EXPIRES 5/27	JOHN CHAPMAN ONLINE FALL 2023	TYLER BAUMBACH	507-288-3923
EROSION CONTROL SUPERVISOR (CONTRACTOR)	TO BE DETERMINED		TO BE DETERMINED	
CHAIN OF RESPONSIBILITY	NOT REQUIRED		TO BE DETERMINED	

EROSION & SEDIMENT CONTROL SCHEDULE:

- 1) MARK GRADING LIMITS AND "DO NOT DISTURB AREAS".
- 2) INSTALL PERIMETER EROSION CONTROL.
- 3) CONSTRUCT STABILIZED VEHICLE EXITS.
- 4) INSTALL INLET PROTECTION.
- 5) BEGIN GRADING OPERATIONS.
- 6) INCREMENTALLY SEED AND BLANKET AREAS OR SOD AS GRADING PROGRESSES.
- 7) MAINTAIN AND UPDATE INLET PROTECTION THROUGH JOB PHASES.
- 8) COMPLETE MAINTENANCE AND REPAIRS OF EROSION AND SEDIMENT CONTROLS.
- 9) STABILIZE FINAL INCREMENT OF GRADING AREA.
- 10) MONITOR GRASS GROWTH AND RESEED/RESOD WHERE NEEDED UNTIL SITE IS STABILIZED.
- 11) REMOVE SILT FENCE AND OTHER TEMPORARY EROSION CONTROLS.
- 12) CLEAN BASINS OF ALL CONSTRUCTION RELATED SEDIMENTATION WHENEVER VOLUME REACHES 1/2 STORAGE VOLUME.
- 13) FILE "NOTICE OF TERMINATION" WITH THE MPCA.

RECORD RETENTION

THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WILL BE AMENDED IF THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS THAT HAS A SIGNIFICANT IMPACT ON THE DISCHARGE TO SURFACE WATERS OR UNDERGROUND WATERS. THE PLAN WILL ALSO BE AMENDED IF IT IS PROVEN TO BE INADEQUATE IN CONTROLLING POLLUTANTS IN STORM WATER DISCHARGES DUE TO CONSTRUCTION ACTIVITIES.

THE SWPPP, ORIGINAL AND COPIES, MUST BE KEPT ON SITE DURING CONSTRUCTION BY THE PERMITTEE WHO HAS OPERATIONAL CONTROL OF THE SITE. ALL OWNERS MUST KEEP THE SWPPP, TRAINING DOCUMENTATION, RECORDS OF ALL INSPECTION AND MAINTENANCE OPERATION AND MAINTENANCE AGREEMENTS, ALL REQUIRED CALCULATIONS FOR DESIGN OF STORMWATER MANAGEMENT SYSTEMS, AND ANY OTHER PERMITS REQUIRED FOR THE PROJECT FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOTICE OF TERMINATION AS DESCRIBED IN I.I.D.

QUANTITIES:

- 1 EACH TEMPORARY ROCK CONSTRUCTION ENTRANCE
  - 1,118 L.F. SILT FENCE
  - 17 EACH DITCH CHECKS
  - 17 EACH INLET PROTECTION
  - 2,611 L.F. BIOROLL
  - 2,193 S.Y. PERMANENT MATTING
- \* ADDITIONAL TEMPORARY BMP'S MAY BE USED IF NECESSARY, AS APPROVED BY THE ENGINEER



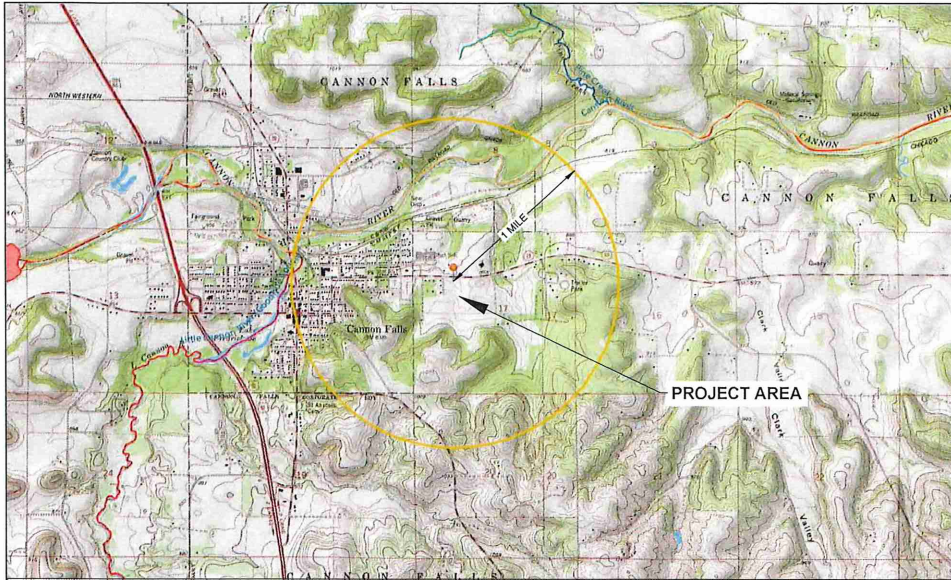
I hereby certify that this plan, specification or report was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
David A. Martin  
Date: \_\_\_\_\_ License No. \_\_\_\_\_ 5131

REVIEWS		DATE	
NO.	DESCRIPTION		

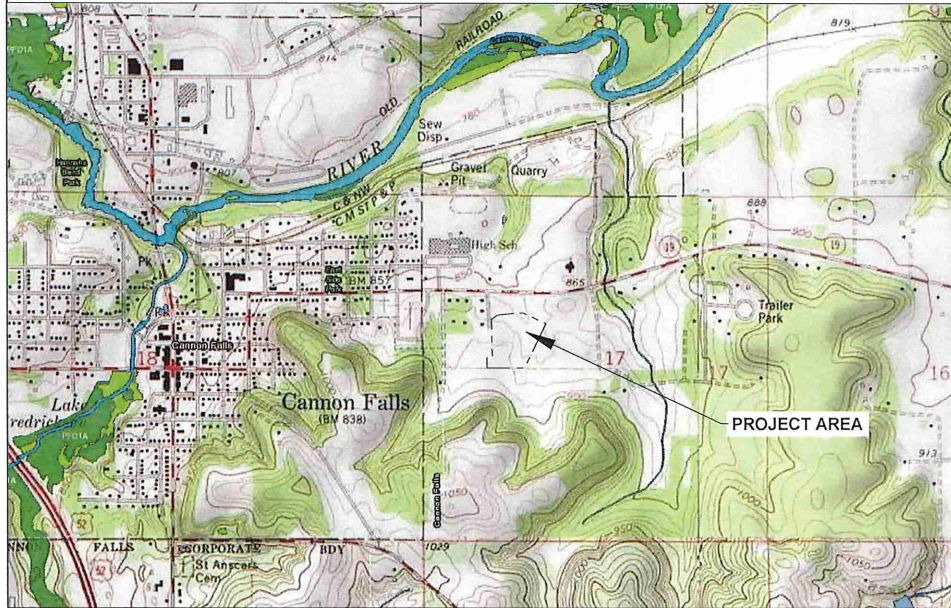
SWPPP-1  
HARDWOOD ESTATES THIRD SUBDIVISION  
CANNON FALLS, MINNESOTA  
2025

SCALE  
AS SHOWN  
WHKS PROJECT NO.  
10109  
DRAWN BY  
KML  
CHECKED BY  
JPP  
SHEET





SPECIAL WATERS MAP / QUAD MAP



QUAD/WETLAND MAP

#### POLLUTION PREVENTION MEASURES

THE CONTRACTOR WILL IMPLEMENT THE POLLUTION PREVENTION MANAGEMENT MEASURES AS DIRECTED IN THE NPDES PERMIT AS PERTAINING TO SOLID WASTE, HAZARDOUS MATERIALS, EXTERNAL TRUCK WASHING, AND CONCRETE WASHOUT ON SITE.

**SOLID WASTE:** NON-HAZARDOUS WASTE SUCH AS COLLECTED SEDIMENT, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION DEBRIS AND OTHER WASTES SHALL BE STOCKPILED AT AN APPROVED LOCATION. ALL NON-HAZARDOUS WASTE SHALL BE DISPOSED OF PROPERLY AND IN ACCORDANCE WITH MPCA REQUIREMENTS AND MNDOT SPECIFICATION 1717.4.4.

**HAZARDOUS WASTE:** ALL HAZARDOUS WASTE SUCH AS OIL, GASOLINE, PAINT AND ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED. STORAGE SHALL INCLUDE SECONDARY CONTAINMENT OR OTHER MEASURES TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGES. ACCESS TO STORAGE AREAS MUST BE RESTRICTED TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MUST COMPLY WITH MANUFACTURERS' RECOMMENDATIONS AND THE MPCA REQUIREMENTS.

**CONSTRUCTION VEHICLE WASHING:** EXTERNAL WASHING OF TRUCKS AND CONSTRUCTION VEHICLES WILL NOT BE ALLOWED ON SITE. ENGINE DEGREASING IS NOT ALLOWED ON SITE.

**FUELING AND SPILL PLAN:** THE CONTRACTOR SHALL HAVE A FUELING OPERATION PLAN AND A PLAN IN THE EVENT OF A SPILL.

**CHEMICAL TREATMENT PLAN:** THE CONTRACTOR SHALL HAVE A CHEMICAL TREATMENT PLAN THAT INCLUDES CHEMICALS USED FOR FLOCCULATION.

**SANITARY AND SEPTIC WASTE:** PORTABLE TOILETS ON THE SITE MUST BE SECURED AND SANITARY WASTE DISPOSAL WILL COMPLY WITH THE MPCA SEPTAGE MANAGEMENT GUIDELINES INCORPORATING 40 CFR PART 503.

**FOR CONCRETE WASHOUT ON SITE,** ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW WASHOUT LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.

THESE MANAGEMENT MEASURES FOR POLLUTION PREVENTION WILL BE STRICTLY ENFORCED.

#### SOILS MAP



Map Unit Symbol	Map Unit Name	Acres in AGI	Percent of AGI
M507B	Marquis silt loam, 2 to 6 percent slopes	5.0	8.5%
N535B	Hesch-Rassel complex, 1 to 6 percent slopes	3.2	5.5%
N581B	Rockton-Akhusen complex, slash terrace, 2 to 6 percent slopes	0.2	0.3%
N593B	Sparta loamy sand, 0 to 6 percent slopes	4.8	8.1%
N594B	Chelsea loamy sand, 2 to 6 percent slopes	26.6	45.4%
N594C	Chelsea loamy sand, 6 to 12 percent slopes	2.9	4.9%
N594E	Chelsea loamy sand, 12 to 35 percent slopes	0.1	0.1%
N598D2	Winnebago-Vitacoma complex, 12 to 18 percent slopes, moderately eroded	0.3	0.5%
N600C2	Elora-Ahna complex, 6 to 12 percent slopes, moderately eroded	6.6	11.2%
N605B	Rassel sandy loam, slash terrace, 2 to 6 percent slopes	0.1	0.1%
Totals for Area of Interest		58.6	100.0%

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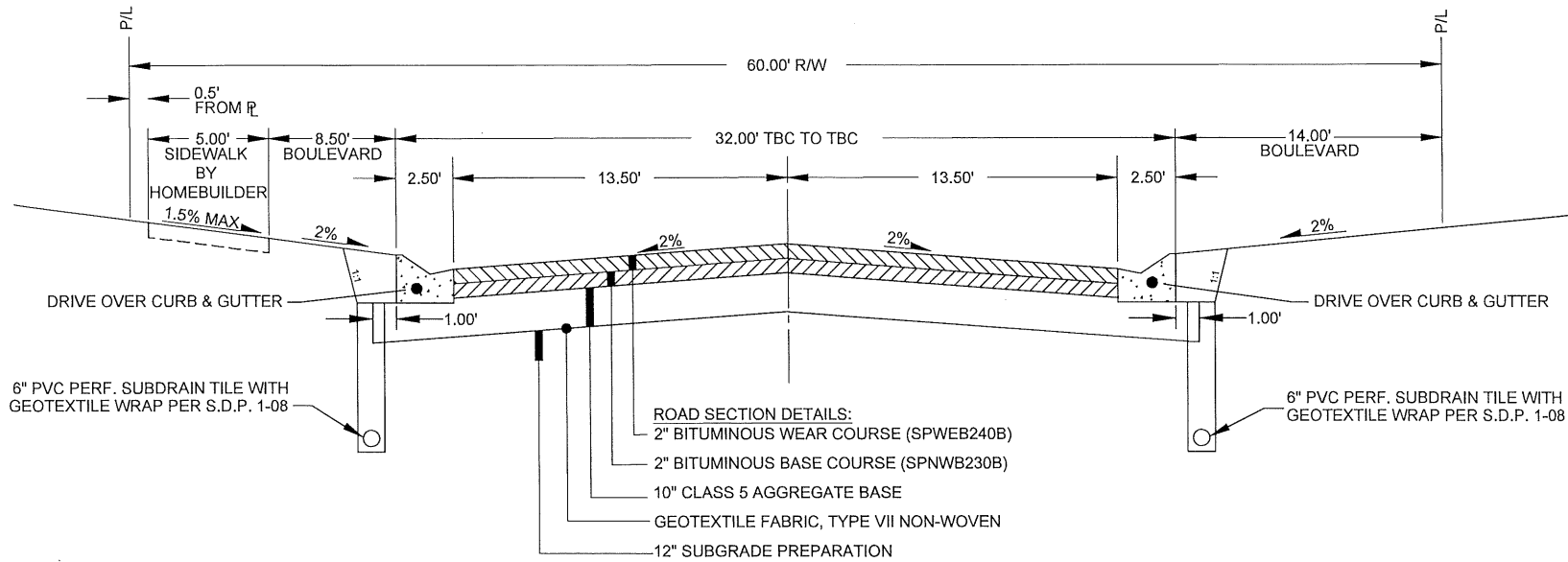
Project No. \_\_\_\_\_  
 Date \_\_\_\_\_  
 License No. 81131

NO. \_\_\_\_\_  
 DATE \_\_\_\_\_  
 REVISIONS \_\_\_\_\_

SWPPP-2  
 HARDWOOD ESTATES THIRD SUBDIVISION  
 CANNON FALLS, MINNESOTA  
 2025

SCALE:  
 AS SHOWN  
 WHKS PROJECT NO.  
 10106  
 DRAWN BY:  
 KML  
 CHECKED BY:  
 JPP  
 SHEET

8 OF 22



**TYPICAL ROAD SECTION**  
NOT TO SCALE

SERVICE CONNECTIONS												
BLOCK	LOT	SERVICE LOCATION		ELEVATION AT END OF SANITARY LATERAL	RISER HEIGHT AT MAIN	SERVICE PIPE SLOPE	SEWER SERVICE LENGTH FROM MAIN TO EASEMENT	SDR 26 PVC SANITARY SERVICE SIZE	4" WYE	WATER SERVICE	FINISH GROUND ELEVATION AT CURB BOX	SANITARY LATERAL DEPTH
		STATION AT WYE	SIDE									
1	1	73+03.58	LEFT	860.1	0.0	2.0%	40.0	4"	1	1"	871.8	11.7
1	2	72+36.79	LEFT	859.8	0.0	2.0%	45.4	4"	1	1"	872.4	12.6
1	3	72+36.79	LEFT	864.4	5.0	2.0%	40.0	4"	1	1"	873.2	8.9
1	4	71+65.01	LEFT	865.0	6.0	2.0%	43.1	4"	1	1"	874.2	9.2
1	5	70+62.14	LEFT	863.7	6.0	2.0%	29.2	4"	1	1"	875.0	11.3
1	6	69+95.09	LEFT	862.9	4.0	2.0%	65.6	4"	1	1"	875.4	12.5
1	7	69+98.43	LEFT	863.4	4.0	2.0%	75.6	4"	1	1"	875.2	11.7
1	8	70+06.14	RIGHT	863.0	4.0	2.0%	46.2	4"	1	1"	874.3	11.3
1	9	70+55.23	RIGHT	859.3	0.0	2.0%	40.0	4"	1	1"	873.2	13.9
1	10	71+61.14	RIGHT	859.9	0.0	2.0%	38.9	4"	1	1"	872.0	12.1
1	11	72+86.35	RIGHT	861.7	0.0	2.0%	40.0	4"	1	1"	872.9	11.2
1	12	22+83.71	LEFT	863.8	0.0	2.0%	31.0	4"	1	1"	874.8	11.0
1	13	21+51.25	LEFT	869.0	0.0	2.0%	40.0	4"	1	1"	880.3	11.3
1	14	19+89.66	LEFT	870.1	0.0	2.0%	40.0	4"	1	1"	881.5	11.4
1	15	19+14.96	LEFT	871.3	0.0	2.0%	40.0	4"	1	1"	882.1	10.8
2	1	74+18.96	LEFT	861.2	0.0	2.0%	40.0	4"	1	1"	871.2	10.0
3	2	17+27.15*	RIGHT	872.4	0.0	2.0%	30.6	4"	0	1"	883.1	10.7
3	3	18+53.45	RIGHT	871.1	0.0	2.0%	40.0	4"	1	1"	882.1	11.1
3	4	19+25.90	RIGHT	870.0	0.0	2.0%	40.0	4"	1	1"	881.5	11.5
3	5	19+98.45	RIGHT	868.9	0.0	2.0%	40.0	4"	1	1"	880.3	11.4
3	6	20+57.07	RIGHT	867.1	0.0	2.0%	44.5	4"	1	1"	878.3	11.2
3	7	21+10.28	RIGHT	865.2	0.0	2.0%	45.1	4"	1	1"	876.4	11.2
3	8	21+63.52	RIGHT	863.8	0.0	2.0%	48.5	4"	1	1"	874.5	10.7
3	9	22+16.62	RIGHT	862.1	0.0	2.0%	39.4	4"	1	1"	873.6	11.5
3	10	22+87.79	RIGHT	861.7	0.0	2.0%	40.0	4"	1	1"	872.9	11.2
3	11	74+12.96	RIGHT	861.1	0.0	2.0%	40.0	4"	1	1"	871.6	10.5
FUTURE**	1	26+87.49	LEFT	861.2	0.0	2.0%	40.0	4"	1	1"	870.5	9.3

\*STATION AND LENGTH APPROXIMATED FROM POINT OF CONNECTION TO EXISTING SERVICE FROM HARDWOOD SECOND SUBDIVISION

\*\*INSTALL SANITARY SERVICE TO FUTURE LOT



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David A. Martin  
Date \_\_\_\_\_ License No. 51131

REVISIONS	
NO.	DATE

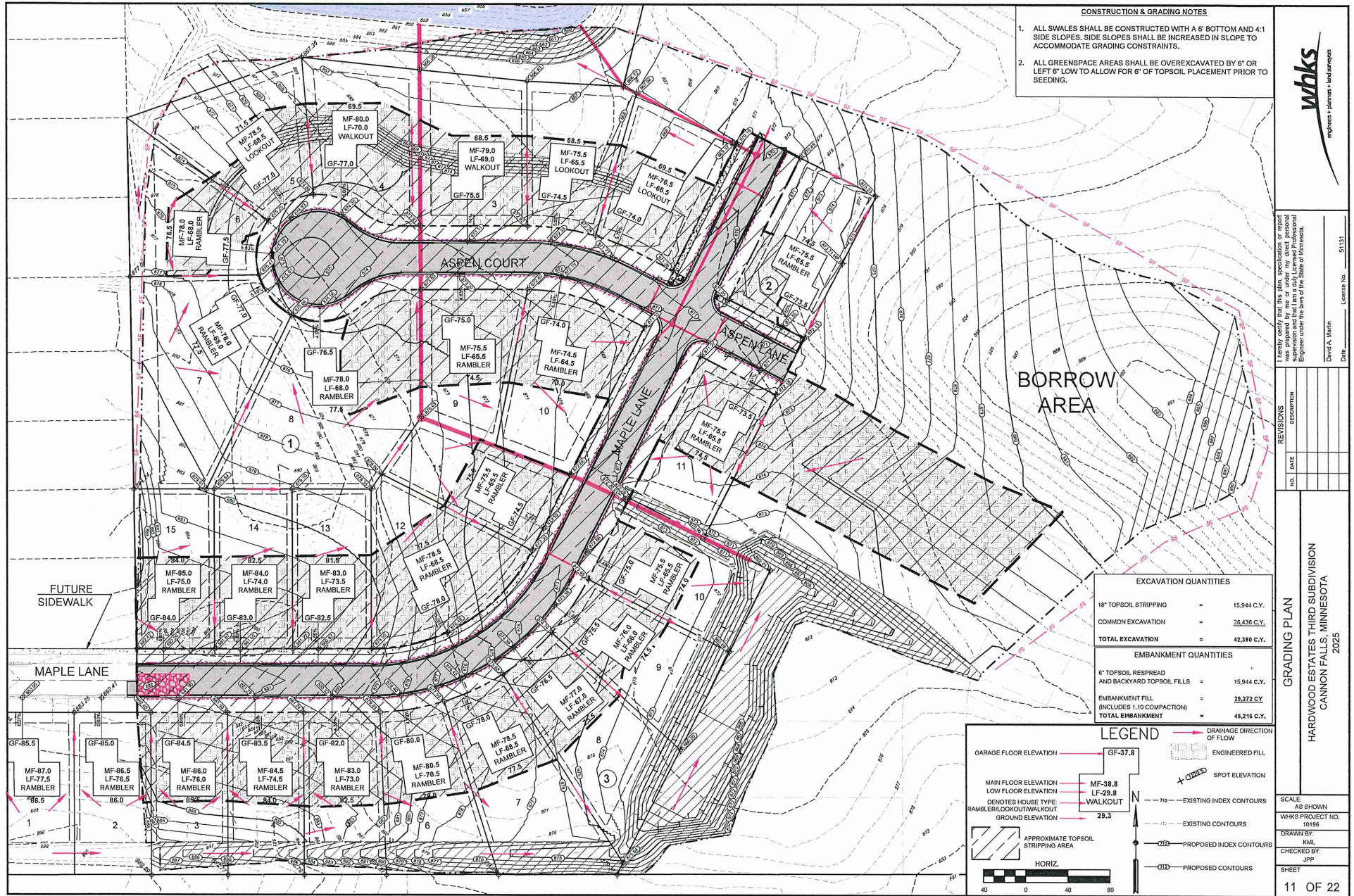
**TYPICAL ROAD SECTION & SERVICE TABLE**

HARDWOOD ESTATES THIRD SUBDIVISION  
CANNON FALLS, MINNESOTA  
2025

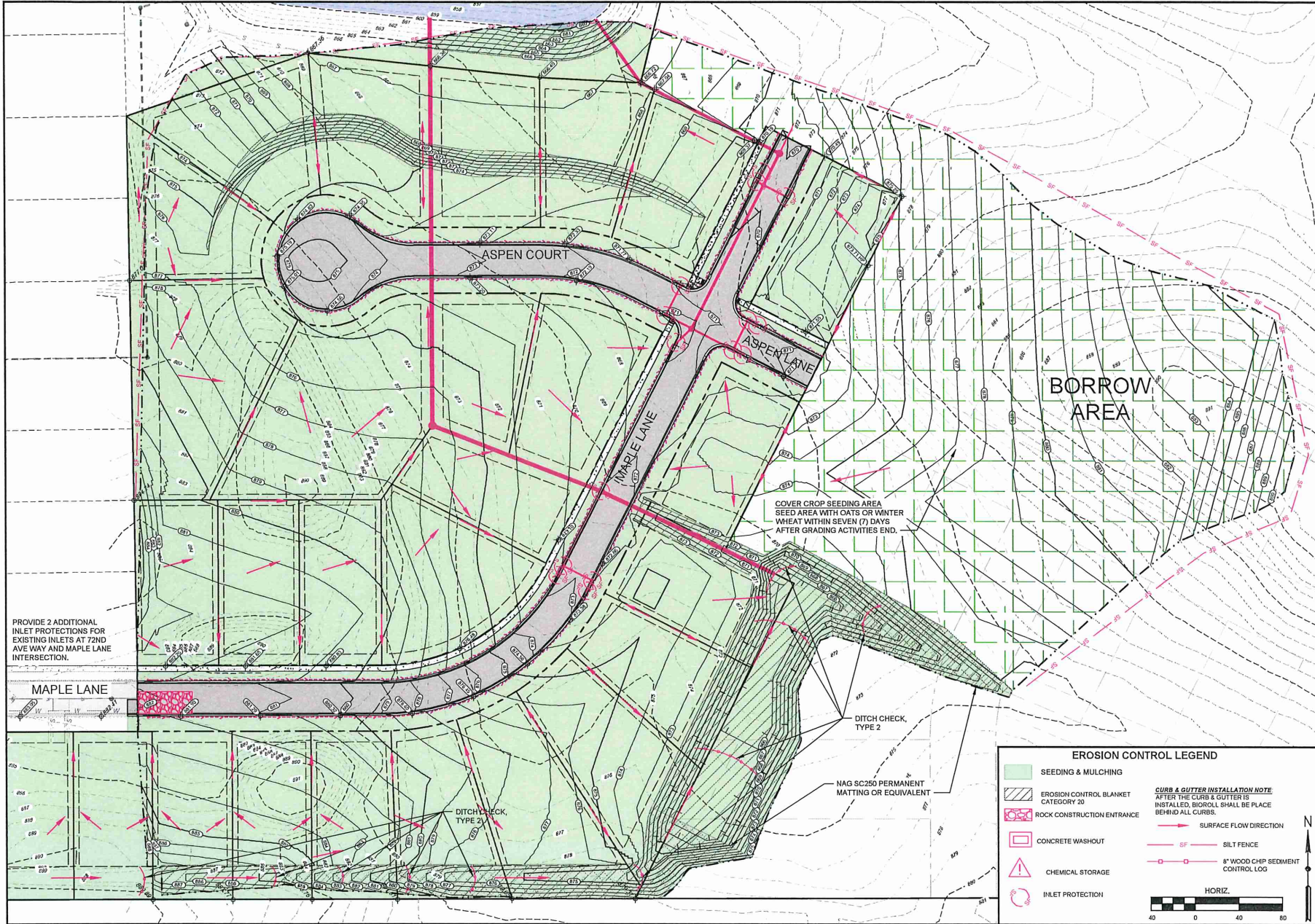
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CHECKED BY	JPP
SHEET	9 OF 22











**EROSION CONTROL LEGEND**

- SEEDING & MULCHING
- EROSION CONTROL BLANKET CATEGORY 30
- ROCK CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT
- CHEMICAL STORAGE
- INLET PROTECTION
- COVER CROP SEEDING AREA  
SEED AREA WITH OATS OR WINTER WHEAT WITHIN SEVEN (7) DAYS AFTER GRADING ACTIVITIES END.
- DITCH CHECK, TYPE 2
- NAG SC250 PERMANENT MATTING OR EQUIVALENT
- CURB & GUTTER INSTALLATION NOTE  
AFTER THE CURB & GUTTER IS INSTALLED, BIOROLL SHALL BE PLACED BEHIND ALL CURBS.
- SURFACE FLOW DIRECTION
- SILT FENCE
- 8" WOOD CHIP SEDIMENT CONTROL LOG

HORIZ.  
40 0 40 80

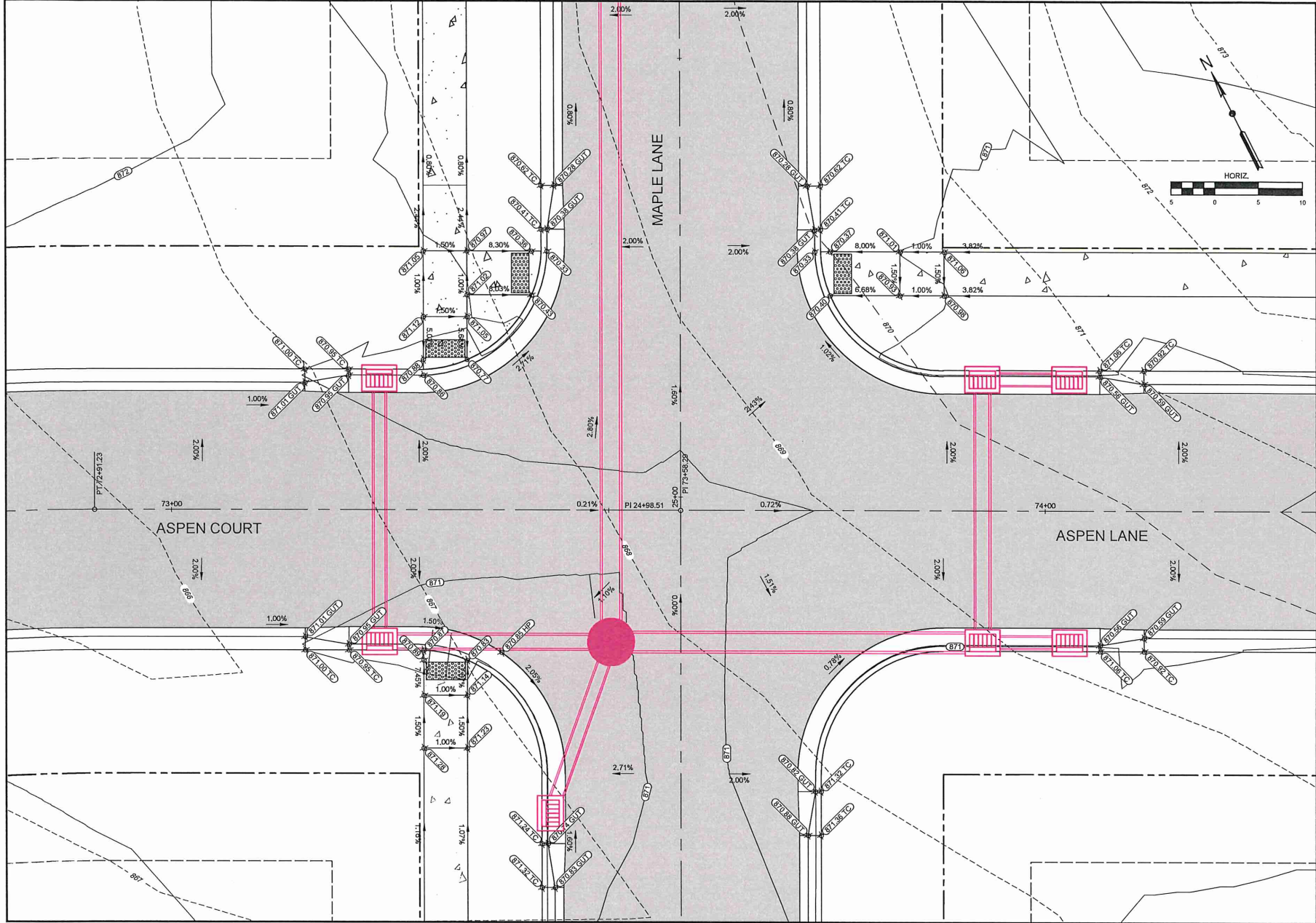
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**EROSION CONTROL PLAN**  
HARDWOOD ESTATES THIRD SUBDIVISION  
CANNON FALLS, MINNESOTA  
2025

NO.	DATE	REVISIONS	DESCRIPTION

DATE: 7/30/2025  
DRAWN BY: KML  
CHECKED BY: JPP  
SHEET: 12 OF 22  
License No.: 51131  
David A. Martin







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David A. Martin  
Date: \_\_\_\_\_ License No. 51131

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NO.	DATE

**PED RAMP GRADES**

HARDWOOD ESTATES THIRD SUBDIVISION  
CANNON FALLS, MINNESOTA  
2025

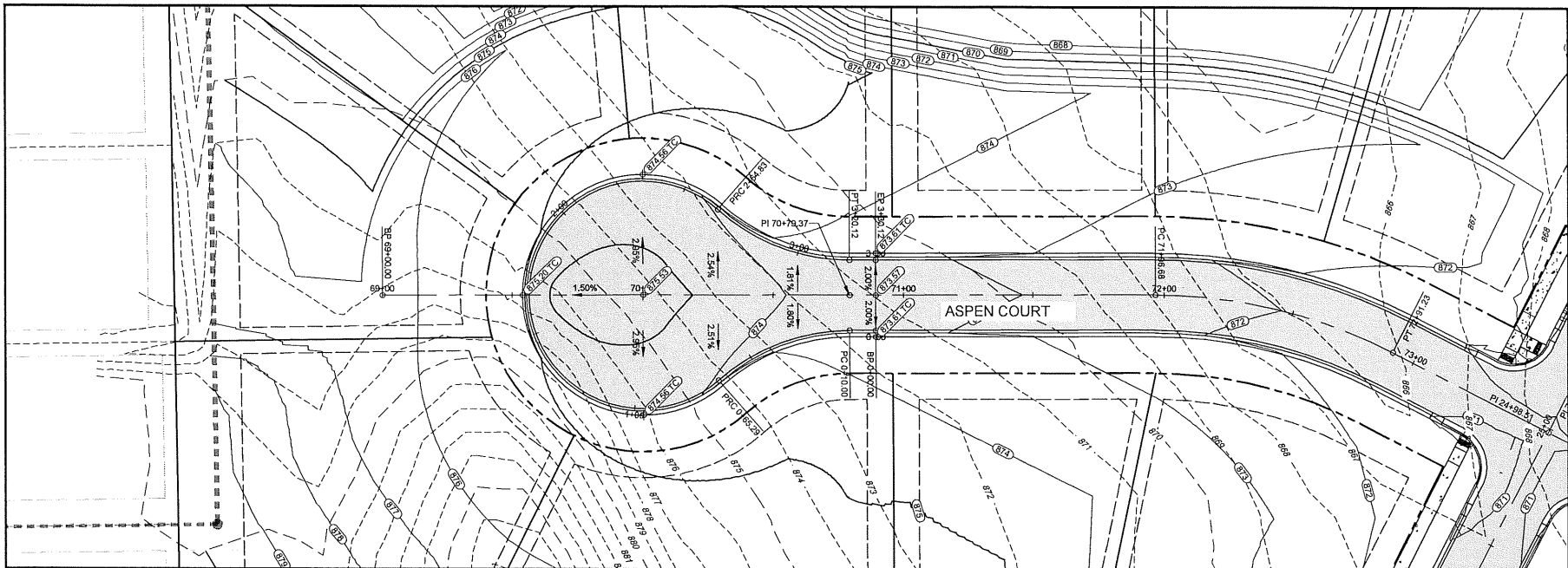
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WHKS PROJECT NO.  
10196

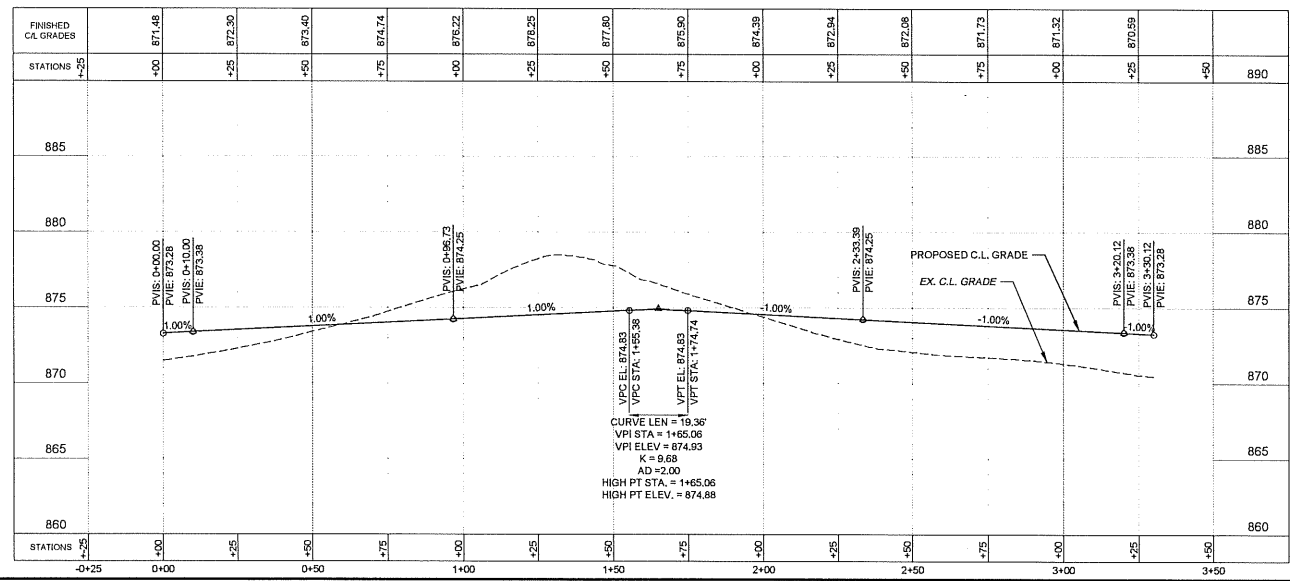
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13 OF 22



ASPEN COURT CURB PROFILE



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REVISIONS

NO.	DATE	REVISION

SCALE

AS SHOWN

WHKS PROJECT NO. 10196

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SHEET 14 OF 22

ASPEN COURT CURB PROFILE

HARDWOOD ESTATES THIRD SUBDIVISION

CANNON FALLS, MINNESOTA

2025

David A. Martin

License No. 91131

Date

I hereby certify that this plan, specification or report was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

- ① F&I 8"x4" WYE & 4" PVC SANITARY SEWER SERVICE (TYP) SEE DETAILS SHEET
- ② F&I 1" COPPER WATER SERVICE, 1" CORPORATION STOP & 1" CURB STOP & BOX (TYP) SEE DETAILS SHEET
- ③ F&I 6"x4" PVC WYE AND 4" PVC SUBDRain SERVICE (TYP) SEE DETAILS SHEET
- ④ F&I DRIVEOVER CURB AND GUTTER
- ⑤ F&I 6" PERF. PVC SUBRAIN
- ⑥ F&I 6" PVC SUBRAIN CLEANOUT
- ⑦ 5' CONCRETE SIDEWALK BY HOMEOWNERS
- ⑧ CONSTRUCT CONC. PEDESTRIAN RAMP PER MNDOT STANDARD PLAN 5-297-250

7 F&I 7.11 SY OF 4" POLYSTYRENE INSULATION

8 REMOVE EXISTING SERVICES FROM EASEMENT TO 5' OUTSIDE BACK OF CURB. SALVAGE CURB STOP AND BOX. F&I TEMPORARY SHORING DURING CONSTRUCTION.

F&I 4" PVC SANITARY SEWER SERVICE & CONNECT TO EXISTING. SEE DETAILS SHEET.

F&I 1" COPPER WATER SERVICE, SALVAGED 1" CURB STOP & BOX. CONNECT TO EXISTING. SEE DETAILS SHEET.

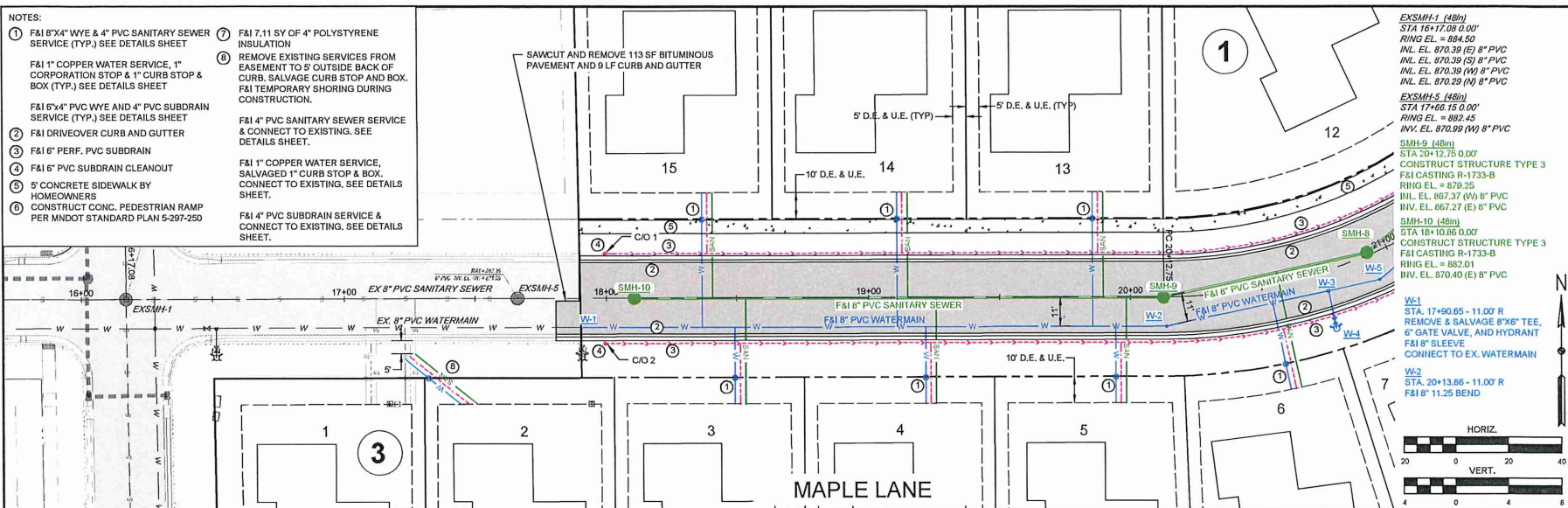
F&I 4" PVC SUBDRAIN SERVICE &

F&I 4" PVC SANITARY SEWER SERVICE  
CONNECT TO EXISTING. SEE  
DETAILS SHEET.

F&I 1" COPPER WATER SERVICE,  
SALVAGED 1" CURB STOP & BOX.  
CONNECT TO EXISTING. SEE DETAILS  
SHEET.

F&I 4" PVC SUBDRAIN SERVICE &  
CONNECT TO EXISTING. SEE DETAILS  
SHEET.

SAWCUT AND REMOVE 113 SF BITUMINOUS  
PAVEMENT AND 9 LF CURB AND GUTTER



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David A. Martin

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MAPLE LANE  
HARDWOOD ESTATES THIRD SUBDIVISION  
CANNON FALLS, MINNESOTA  
2025

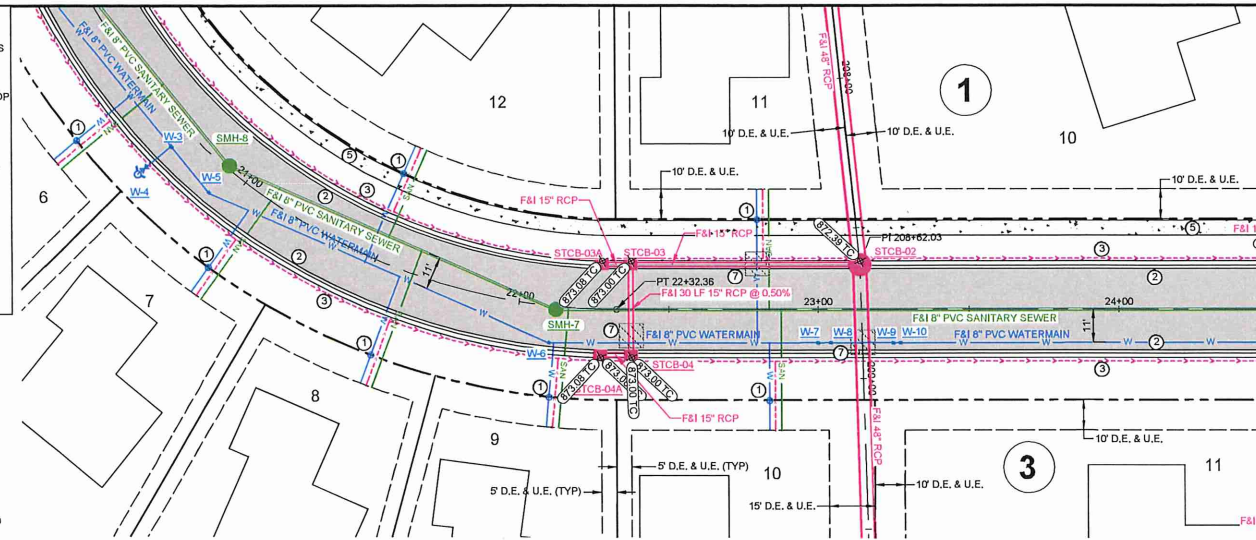
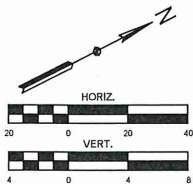
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15 OF 22

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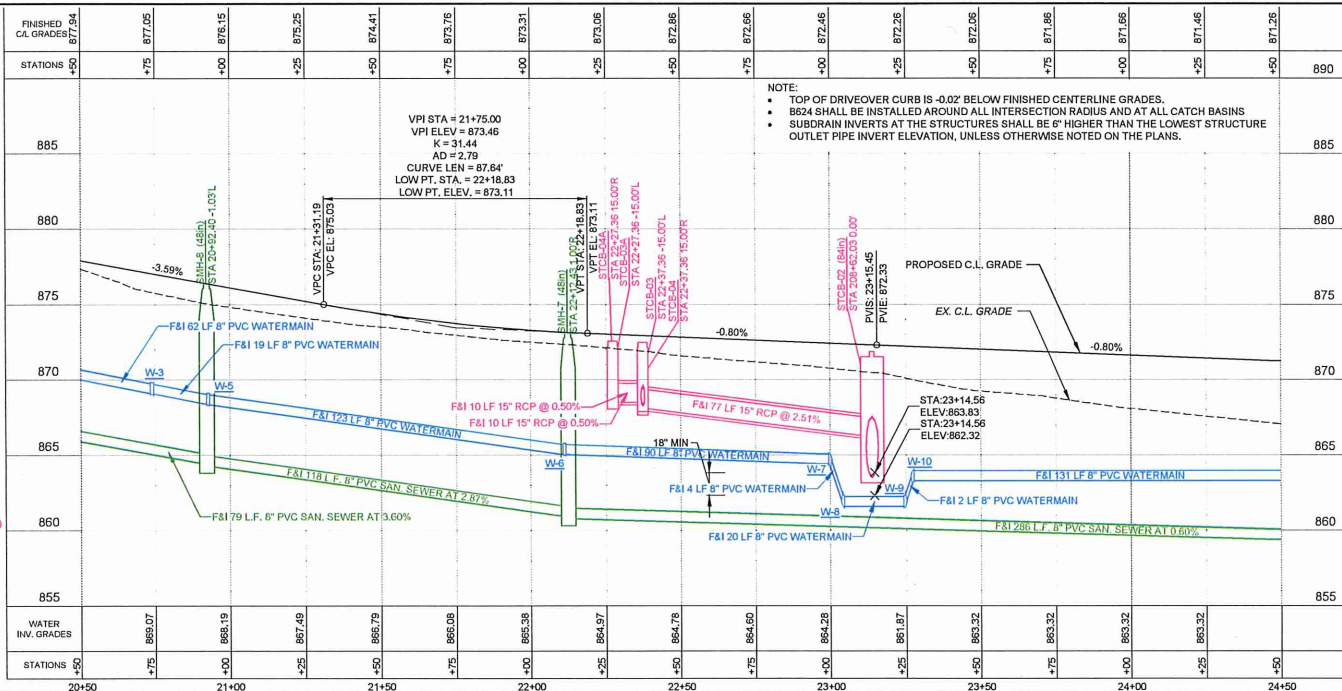


- NOTES:
- F&I 8"x4" WYE & 4" PVC SANITARY SEWER SERVICE (TYP.) SEE DETAILS SHEET
  - F&I 1" COPPER WATER SERVICE, 1" CORPORATION STOP & 1" CURB STOP & BOX (TYP.) SEE DETAILS SHEET
  - F&I 6"x4" PVC WYE AND 4" PVC SUBDRAIN SERVICE (TYP.) SEE DETAILS SHEET
  - F&I DRIVEOVER CURB AND GUTTER
  - F&I 6" PERF. PVC SUBDRAIN
  - F&I 6" PVC SUBDRAIN CLEANOUT
  - 5 CONCRETE SIDEWALK BY HOMEOWNERS
  - CONSTRUCT CONC. PEDESTRIAN RAMP PER MNDOT STANDARD PLAN 5-267-250
  - F&I 11 SY OF 4" POLYSTYRENE INSULATION



- W-3  
STA. 20+74.00 - 7.44' R  
INSTALL SALVAGED 8"x6" TEE FROM W-1
- W-4  
STA. 20+72.76 - 22.00' R  
F&I 6" HYDRANT  
BREAK OFF EL. = 877.52  
F&I 6" GATE VALVE & BOX 3' FROM HYDRANT
- W-5  
STA. 20+92.92 - 10.27' R  
F&I 8" 22.5 BEND
- W-6  
STA. 22+11.28 - 12.18' R  
F&I 8" 22.5 BEND
- W-7  
STA. 23+00.04 - 11.00' R  
F&I 8" 45 BEND
- W-8  
STA. 23+04.27 - 11.00' R  
F&I 8" 45 BEND
- W-9  
STA. 23+24.85 - 11.00' R  
F&I 8" 45 BEND
- W-10  
STA. 23+27.32 - 11.00' R  
F&I 8" 45 BEND

## MAPLE LANE



- NOTE:
- TOP OF DRIVEOVER CURB IS -0.02' BELOW FINISHED CENTERLINE GRADES.
  - B624 SHALL BE INSTALLED AROUND ALL INTERSECTION RADIUS AND AT ALL CATCH BASINS
  - SUBDRAIN INVERTS AT THE STRUCTURES SHALL BE 6" HIGHER THAN THE LOWEST STRUCTURE OUTLET PIPE INVERT ELEVATION, UNLESS OTHERWISE NOTED ON THE PLANS.

- STCB-03A  
STA 22+27.36 - 15.00'L  
CONSTRUCT STRUCTURE TYPE 1  
F&I R-3067-V GRATE  
GRATE EL. = 872.58  
INV. EL. 868.58 (NE) 15" RCP
- STCB-03  
STA 22+37.36 - 15.00'L  
CONSTRUCT STRUCTURE TYPE 1  
F&I R-3067-V GRATE  
GRATE EL. = 872.50  
INV. EL. 868.53 (SW) 15" RCP  
INV. EL. 868.19 (NE) 15" RCP
- STCB-04A  
STA 22+37.36 15.00'R  
CONSTRUCT STRUCTURE TYPE 1  
F&I R-3067-V GRATE  
GRATE EL. = 872.50  
INV. EL. 868.54 (SW) 15" RCP  
INV. EL. 868.44 (NW) 15" RCP
- STCB-04  
STA 22+37.36 15.00'R  
CONSTRUCT STRUCTURE TYPE 1  
F&I R-3067-V GRATE  
GRATE EL. = 872.50  
INV. EL. 868.54 (SW) 15" RCP  
INV. EL. 868.44 (NW) 15" RCP
- STCB-02  
STA 20+62.03 0.00'  
CONSTRUCT STRUCTURE TYPE 4 (84in)  
F&I R-3067-V GRATE  
GRATE EL. = 871.89  
INV. EL. 863.62 (SE) 48" RCP  
INV. EL. 866.27 (SW) 15" RCP  
INV. EL. 863.52 (W) 48" RCP

- SMH-7 (48in)  
STA 22+12.43 1.00'R  
CONSTRUCT STRUCTURE TYPE 3  
F&I CASTING R-1733-B  
RING EL. = 873.15  
INV. EL. 860.94 (SW) 8" PVC  
INV. EL. 860.84 (NE) 8" PVC
- SMH-8 (48in)  
STA 20+92.40 - 1.03'L  
CONSTRUCT STRUCTURE TYPE 3  
F&I CASTING R-1733-B  
RING EL. = 876.40  
INV. EL. 864.43 (W) 8" PVC  
INV. EL. 864.33 (NE) 8" PVC

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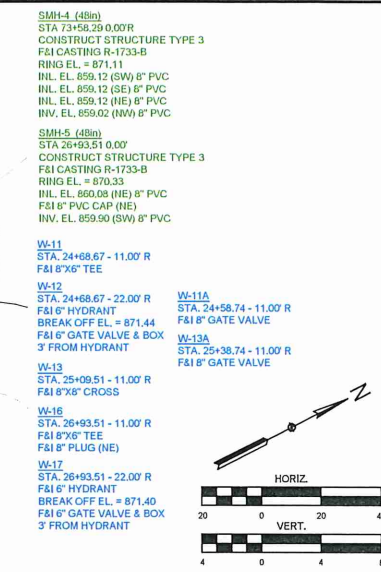
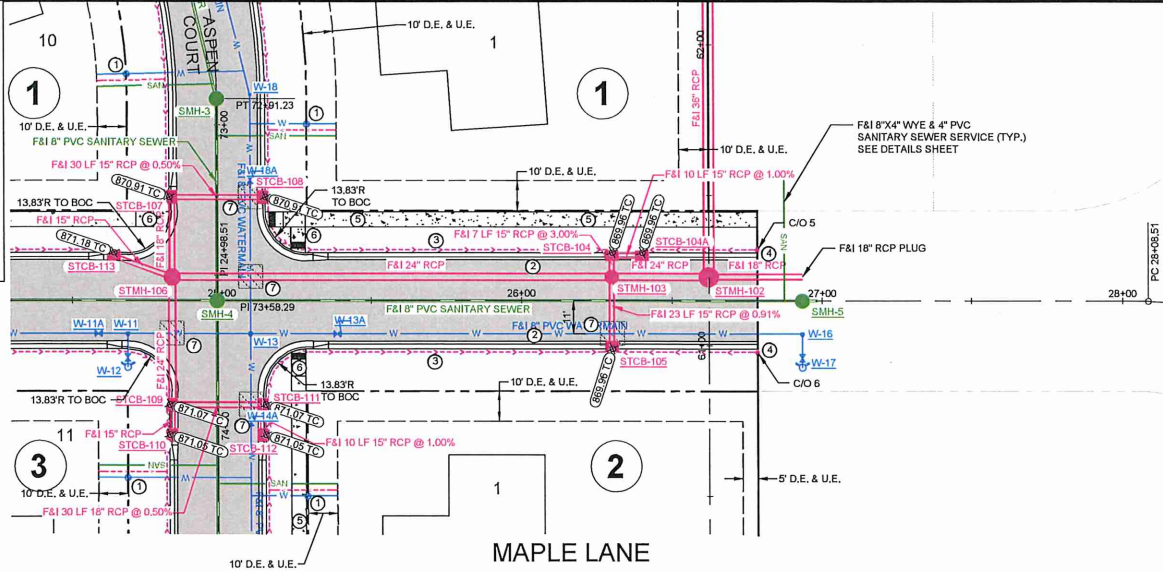
David A. Martin  
Date \_\_\_\_\_ License No. 51131


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MAPLE LANE  
HARDWOOD ESTATES THIRD SUBDIVISION  
CANNON FALLS, MINNESOTA  
2025

SCALE:  
AS SHOWN  
WHKS PROJECT NO. 10196  
DRAWN BY: KML  
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- NOTES:
- F&I 8"x4" WYE & 4" PVC SANITARY SEWER SERVICE (TYP.) SEE DETAILS SHEET
  - F&I 1" COPPER WATER SERVICE, 1" CORPORATION STOP & 1" CURB STOP & BOX (TYP.) SEE DETAILS SHEET
  - F&I 6"x4" PVC WYE AND 4" PVC SUBDRAIN SERVICE (TYP.) SEE DETAILS SHEET
  - F&I DRIVEOVER CURB AND GUTTER
  - F&I 6" PERF. PVC SUBDRAIN
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  - 5' CONCRETE SIDEWALK BY HOMEOWNERS
  - CONSTRUCT CONC. PEDESTRIAN RAMP PER MNDOT STANDARD PLAN 5-297-250
  - F&I 7.11 SY OF 4" POLYSTYRENE INSULATION





engineer + planner + land surveyor

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David A. Martin License No. 51131

REVISIONS	
NO.	DATE

**MAPLE LANE**

**HARDWOOD ESTATES THIRD SUBDIVISION**

**CANNON FALLS, MINNESOTA**

2025

SCALE: AS SHOWN

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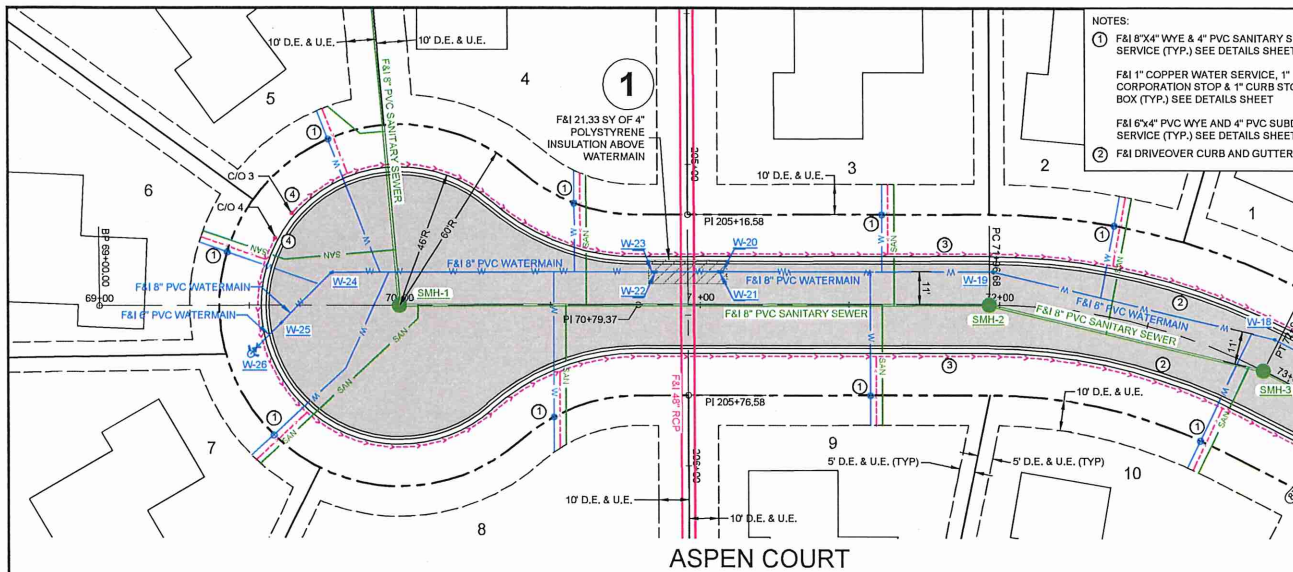
SHEET 17 OF 22

FINISHED C.A. GRADES	871.12	871.11	871.09	870.89	870.46	870.26	870.06	869.92	869.95	870.12	870.46	870.95	871.53	872.12	872.71	873.30	873.88
STATIONS	+50	+75	+100	+125	+150	+175	+200	+225	+250	+275	+300	+325	+350	+375	+400	+425	+450
880																	
875																	
870																	
865																	
860																	
855																	
850																	
WATER INV. GRADES	863.27	863.05	862.72	862.39	862.16	862.05	862.04	862.13	862.23								
STATIONS	+50	+75	+100	+125	+150	+175	+200	+225	+250	+275	+300	+325	+350	+375	+400	+425	+450

NOTE:

- TOP OF DRIVEOVER CURB IS .002' BELOW FINISHED CENTERLINE GRADES.
- B624 SHALL BE INSTALLED AROUND ALL INTERSECTION RADIUS AND AT ALL CATCH BASINS
- SUBDRAIN INVERTS AT THE STRUCTURES SHALL BE 6" HIGHER THAN THE LOWEST STRUCTURE OUTLET PIPE INVERT ELEVATION, UNLESS OTHERWISE NOTED ON THE PLANS.



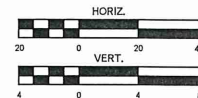


- NOTES:
- F&I 8"x4" WYE & 4" PVC SANITARY SEWER SERVICE (TYP.) SEE DETAILS SHEET
  - F&I 1" COPPER WATER SERVICE, 1" CORPORATION STOP & 1" CURB STOP & BOX (TYP.) SEE DETAILS SHEET
  - F&I 6"x4" PVC WYE AND 4" PVC SUBDRAIN SERVICE (TYP.) SEE DETAILS SHEET
  - F&I DRIVEOVER CURB AND GUTTER
  - F&I 6" PERF. PVC SUBDRAIN
  - F&I 6" PVC SUBDRAIN CLEANOUT
  - 5' CONCRETE SIDEWALK BY HOMEOWNERS
  - CONSTRUCT CONC. PEDESTRIAN RAMP PER MNDOT STANDARD PLAN 5-297-250
  - F&I 7.11 SY OF 4" POLYSTYRENE INSULATION

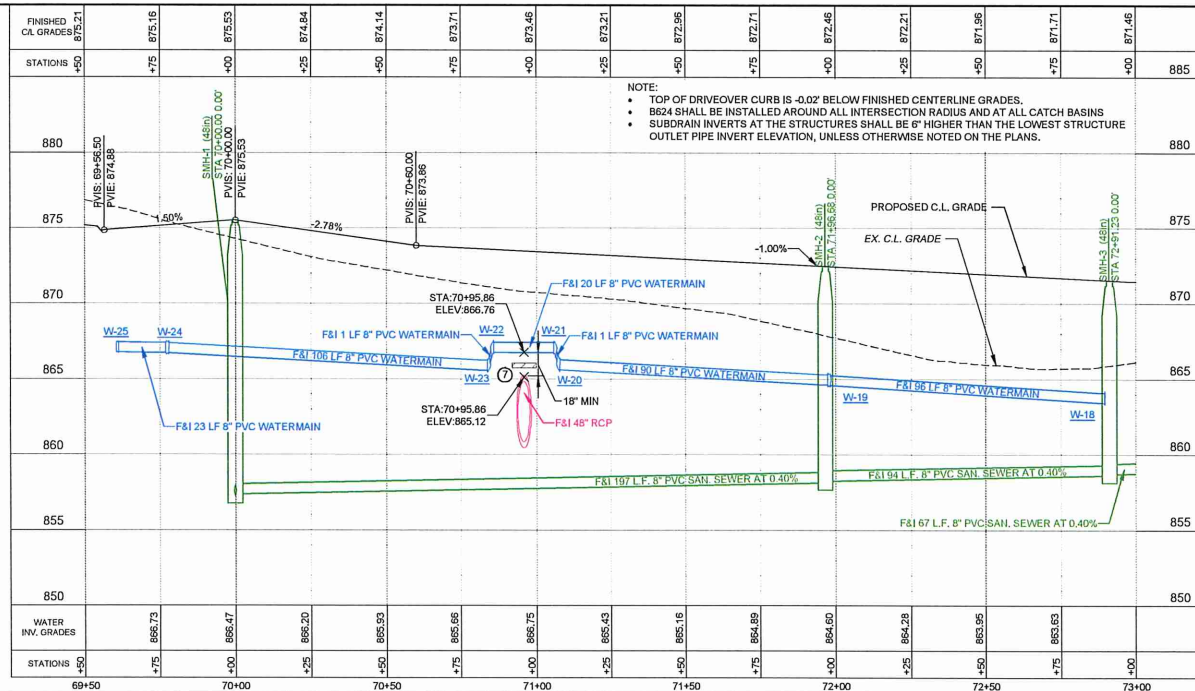
SMH-1 (48in)  
STA 70+00.00 0.00'  
CONSTRUCT STRUCTURE TYPE 3  
F&I CASTING R-1733-B  
RING EL. = 875.53  
INL. EL. 857.39 (E) 8" PVC  
INV. EL. 857.29 (H) 8" PVC

SMH-2 (48in)  
STA 71+56.66 0.00'  
CONSTRUCT STRUCTURE TYPE 3  
F&I CASTING R-1733-B  
RING EL. = 872.49  
INL. EL. 858.28 (E) 8" PVC  
INV. EL. 858.18 (W) 8" PVC

SMH-3 (48in)  
STA 72+91.23 0.00'  
CONSTRUCT STRUCTURE TYPE 3  
F&I CASTING R-1733-B  
RING EL. = 871.54  
INL. EL. 858.75 (SE) 6" PVC  
INV. EL. 858.65 (W) 6" PVC



ASPEN COURT



W-18  
STA 72+89.99 - 11.00' L  
F&I 8" 11.25 BEND

W-19  
STA 71+97.92 - 11.00' L  
F&I 8" 22.5 BEND

W-20  
STA 71+07.46 - 11.00' L  
F&I 8" 45 BEND

W-21  
STA 71+06.36 - 11.00' L  
F&I 8" 45 BEND

W-22  
STA 70+85.44 - 11.00' L  
F&I 8" 45 BEND

W-23  
STA 70+64.23 - 11.00' L  
F&I 8" 45 BEND

W-24  
STA 69+77.50 - 11.00' L  
F&I 8" 45 BEND

W-25  
STA 69+60.84 - 5.69' R  
F&I 8"x6" REDUCER

W-26  
STA 69+50.53 - 16.02' R  
F&I 6" HYDRANT  
BREAK OFF EL. = 875.40  
F&I 6" GATE VALVE & BOX  
3' FROM HYDRANT

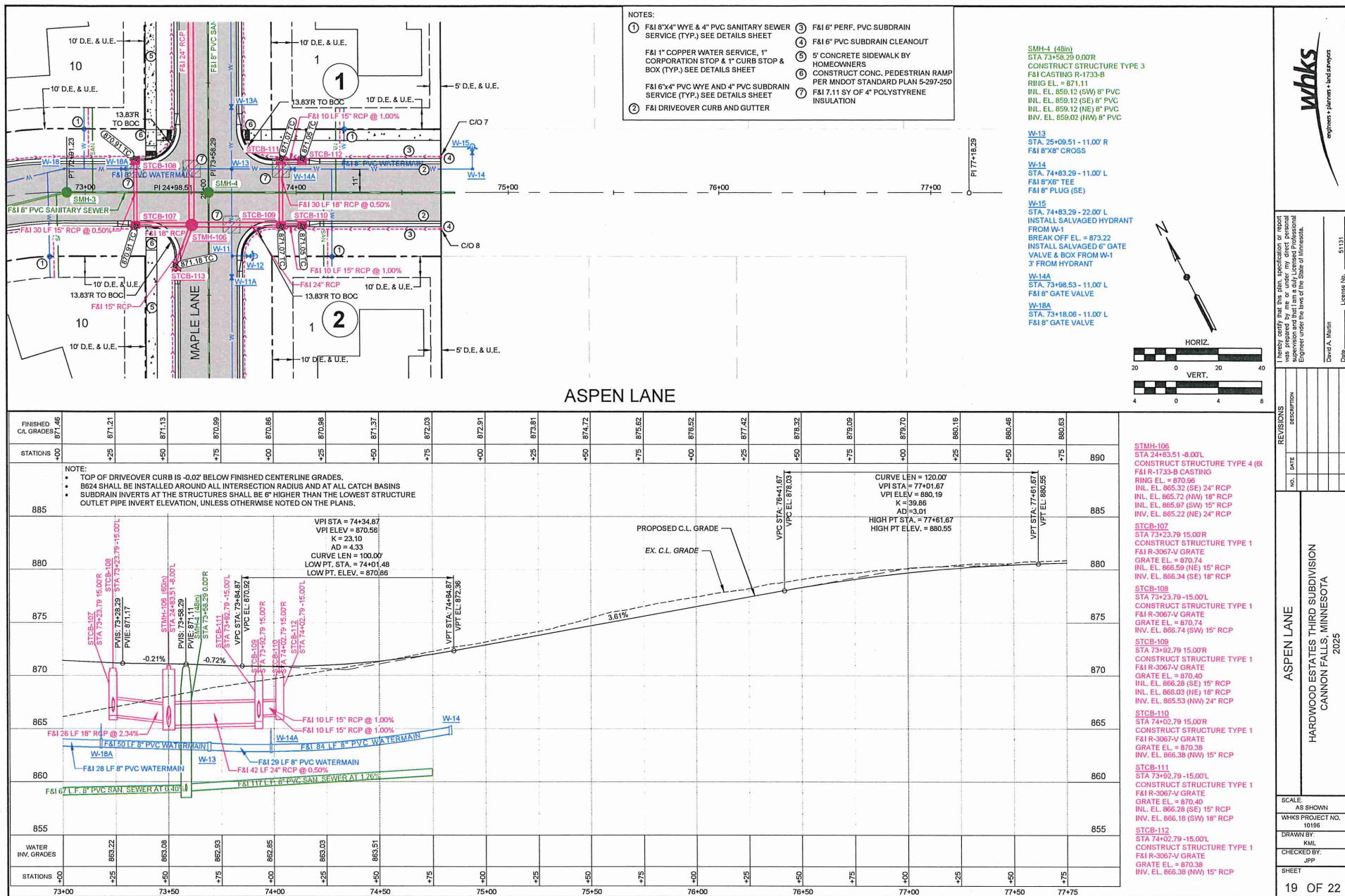
I hereby certify that this plan, specification or report was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

David A. Martin  
Date: \_\_\_\_\_ License No.: 51131

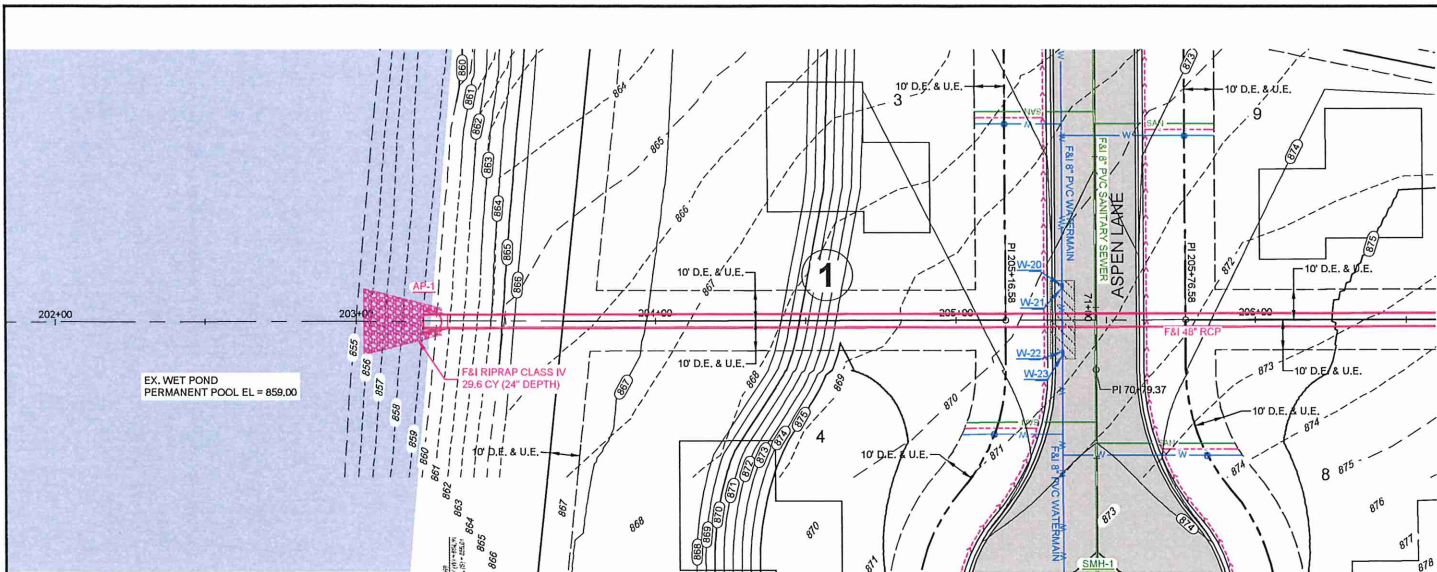
NO.	DATE	REVISIONS

ASPEN COURT  
HARDWOOD ESTATES THIRD SUBDIVISION  
CANNON FALLS, MINNESOTA  
2025

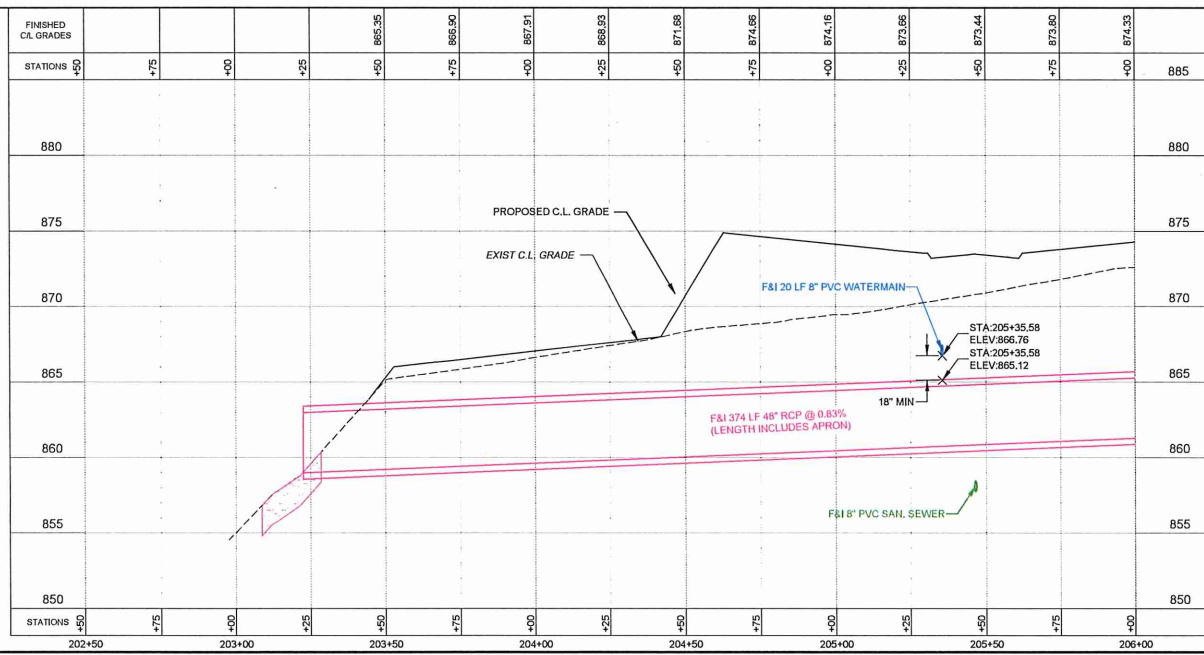
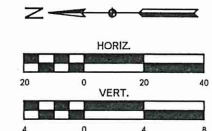
SCALE:  
AS SHOWN  
WKS PROJECT NO.  
10196  
DRAWN BY:  
KML  
CHECKED BY:  
JPP  
SHEET








SWALE OUTLET TO POND



AP-1  
STA 203+22.60 @ 0.00%  
CONSTRUCT 48" RCP APRON  
INV. EL. 859.00



engineers • planners • land surveys

REVISIONS	
NO.	DATE

**SWALE OUTLET TO POND**

HARDWOOD ESTATES THIRD SUBDIVISION  
CANNON FALLS, MINNESOTA

2025

SCALE: AS SHOWN	
WHKS PROJECT NO. 10196	
DRAWN BY: KML	
CHECKED BY: JPP	
SHEET	
20 OF 22	

I hereby certify that this plan, specification or report was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

David A. Mathin      License No. 51131      Date: \_\_\_\_\_









**CITY OF CANNON FALLS  
GOODHUE COUNTY, MINNESOTA**

**RESOLUTION NUMBER 2820**

**FINAL PLAT AND FINAL PUD PLAN FOR  
HARDWOOD ESTATES THIRD SUBDIVISION**

**WHEREAS**, the Cannon Falls Economic Development Authority (“**Developer**”) owns and intends to develop a parcel of land lying within the City and legally described on the attached **Exhibit A** (the “**Property**”);

**WHEREAS**, the Property is part of the existing Hardwood Estates Plat attached hereto as **Exhibit B**;

**WHEREAS**, the Developer is seeking approval of the Hardwood Estates Third Subdivision Final Plat and PUD final plans (the “**PUD Final Plan**”);

**WHEREAS**, City staff studied the matter, made a report, and provided other information to the City Council; and

**WHEREAS**, the City Council considered the matter at its July 15, 2025 meeting.

**NOW, THEREFORE**, the City Council of the City of Cannon Falls makes the following:

**FINDINGS**

1. On May 12, 2025, the Planning Commission held a public hearing and recommended conditional approval of Developer’s preliminary plat for a residential development, and Developer’s PUD plans.

2. On May 20, 2025, the City Council passed Resolution No. 2813 conditionally approving the Developer’s Hardwood Estates Third Subdivision preliminary plat and PUD plans

3. The Developer has submitted, for the City’s review and approval, the Hardwood Estates Third Subdivision Final Plat and PUD Final Plan attached hereto as **Exhibit C**.

4. Minn. Stat. § 462.357 grants to the City, for the purpose of promoting the public health, safety, morals and general welfare, the authority to regulate use of land within the City through zoning regulations.

5. The proposed subdivision of Property is governed by City Code Chapter 151.

6. The Developer, pursuant to City Code Chapter 151, submitted the Final Plat for the City’s review and approval.

7. City Code § 151.090 (E) requires the Developer to enter into a Development Agreement, which must be recorded against the Property.

8. The Final Plat meets the City Code requirements, provided that it is subject to and meets, to the satisfaction of the City, the conditions set forth in this Resolution.

9. The proposed PUD is governed by City Code Chapter 152.

10. The Developer, pursuant to City Code Chapter 152, submitted the PUD Final Plan for the City's review and approval.

11. The PUD Final Plan meets the City Code requirements, provided that it is subject to and meets, to the satisfaction of the City, the conditions set forth in this Resolution.

### **DECISION**

NOW, THEREFORE BE IT RESOLVED by the City Council for the City of Cannon Falls that, based upon the findings cited herein:

1. The City Council hereby conditionally approves the Hardwood Estates Third Subdivision Final Plat and the Mayor and City Administrator are hereby authorized to execute the same, subject to the conditions set forth below in paragraph 3 that must be met, to the satisfaction of the City, prior to release of the Final Plat.

2. The City Council hereby conditionally approves the Hardwood Estates Third Subdivision PUD Final Plan, subject to the conditions set forth below in paragraph 3 that must be met, to the satisfaction of the City, prior to release of the Final Plat.

3. The following conditions must be met to the satisfaction of the City prior to or simultaneously with final plat approval:

(a) The conditional approvals granted by this Resolution are subject to the completion of and compliance with all ministerial matters set forth in the City Code and required by the City, including but not limited to, those of Engineering, Planning, Administrative and Legal Departments.

(b) The Developer shall record the Final Plat within ninety (90) days of the date of this Resolution. If the Developer fails to comply with this condition, the City Council's approval of the Final Plat shall be considered void, unless the Developer requests and receives an extension from the City Council.

(c) The Developer shall provide a platting title commitment as required by Minn. Stat. § 505.03. The above-mentioned evidence of title shall be subject to the review and approval of the City Attorney to determine the entities that must execute the Final Plat and other documents to be recorded against the Property. Further, the Developer shall provide the City with evidence, the sufficiency of which shall be determined by the City, that all

documents required to be recorded pursuant to this Resolution and by the City Attorney are recorded and all conditions for release of the Final Plat have been met prior to the City processing or approving any building permits or other permits applicable to the development of the Property.

(d) The Hardwood Estates Third Subdivision Final Plat and PUD Final Plan shall be consistent with each other.

(e) The City and Developer shall enter into the Hardwood Estates Development Agreement, subject to final review by the City Attorney and/or City Engineer, within thirty (30) days of the date of this Resolution. The Development Agreement shall be recorded against and run with the Property. The City may record the Development Agreement immediately upon receipt of all signatures.

(f) The City and Developer shall enter into the Hardwood Estates Third Subdivision PUD Agreement, subject to final review by the City Attorney, within thirty (30) days of the date of this Resolution. The Hardwood Estates Third Subdivision PUD Agreement shall be recorded against and run with the Property. The Developer shall provide the City with recording information prior to the issuance of any permit for the development of the Property.

(g) The Developer shall comply with the recommendations of the City Engineer.

(h) The conditional approvals granted by this Resolution apply only to the Property.

(i) Any signage on the Property is not part of the approvals granted by this Resolution and a separate application, subject to review and approval by the City, shall be required.

(j) All construction on and maintenance of the Property shall comply, at all times, with this Resolution, the Development Agreement, the PUD Final Plan, the Final Plat, and City Code.

(k) The Developer's satisfaction of all park dedication requirements for the Project prior to the City's release of the Final Plat.

(l) Unless otherwise expressly provided for by this Resolution, the Developer shall comply with the requirements of previous approvals for the Property within the timeframes set forth therein.

**ADOPTED** by the City Council this 5th day of August, 2025.

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Matt Montgomery, Mayor

ATTEST: 

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Jon Radermacher, City Administrator



## **EXHIBIT A**

### **Legal Description of Property**

That part of Outlot B of HARDWOOD ESTATES SECOND, described as follows: Beginning at the southwest corner of said Outlot B; thence North 00 degrees 07 minutes 34 seconds West, (Note: All bearings are in relationship with the Goodhue County Coordinate System NAD '83, Adjusted 1996), along the east line of Block 3 of HARDWOOD ESTATES SECOND, 153.00 feet to the south right-of-way line of Maple Lane; thence North 89 degrees 52 minutes 26 seconds East, along said south right-of-way line, 15.88 feet; thence North 00 degrees 55 minutes 43 seconds West, along the east line of Block 2 of HARDWOOD ESTATES SECOND and Block 1 of HARDWOOD ESTATES, 560.56 feet; thence North 70 degrees 52 minutes 17 seconds East, along the south line of Outlot A of HARDWOOD ESTATES SECOND, 175.71 feet; thence South 84 degrees 01 minutes 20 seconds East, along said south line, 213.63 feet; thence South 87 degrees 07 minutes 55 seconds East, along said south line, 92.01 feet; thence South 63 degrees 02 minutes 24 seconds East, 120.00 feet; thence North 26 degrees 57 minutes 36 seconds East, 16.02 feet; thence South 63 degrees 02 minutes 24 seconds East, 140.00 feet; thence South 26 degrees 57 minutes 36 seconds West, 360.00 feet; thence South 63 degrees 02 minutes 24 seconds East, 70.00 feet; thence South 26 degrees 57 minutes 36 seconds West, 321.99 feet to a point on the south line of said Outlot B; thence South 89 degrees 52 minutes 26 seconds West, along said south line, 469.04 feet to the Point of Beginning and there terminating. AND Block 3 of HARDWOOD ESTATES SECOND. Containing 10.46 acres, more or less.

**EXHIBIT B**

**Hardwood Estates Plat**

## **EXHIBIT C**

### **Third Subdivision Final Plat and Final PUD Plan**